


Dublin Village Historic Area Specific Plan

City of Dublin



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ACKNOWLEDGEMENTS

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This Specific Plan relied on many previously-written documents for information about the history of Dublin and its valuable resources. Those documents that were especially useful documents were the following:

- *Archeological Assessment Report for the Donlon Way Area Specific Plan*, written by consultants in archeology, William Self Associates, Inc. (August 2003)
- *Dublin Historic Park Draft Master Plan*, written by consultants in landscape architecture, Royston Hanamoto Alley and Abey (RHAA) (May 2006)
- *Dublin Village Design Guidelines*, written by planning consultants RBF Consulting, Inc./Urban Design Studio (January 2005)
- *Historic Resources Identification Project (Final)*, written by consultants in architectural history Page & Turnbull, Inc. (January 2004)

The City of Dublin appreciates the studies, research, and recommendations provided by the above firms and individuals.

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TABLE OF CONTENTS

Exhibits

Tables

Section 1: Executive Summary	1
Section 2: Introduction, Purpose, and Project Location	2
Section 3: General Notes	7
Section 4: Existing Conditions	9
Section 5: Land Use Concept	21
Section 6: Historic, Cultural, and Archeological Resource Preservation	27
Section 7: Design Guidelines	31
Section 8: Infrastructure and Maintenance	93
Section 9: Specific Plan Administration and Implementation	95

Appendices

- Appendix A: List of Current Property Owners and the Accompanying Assessor's Parcel Map
- Appendix B: Summary of Mitigation Measures from Initial Study/Mitigated Negative Declaration prepared for the Specific Plan
- Appendix C: California State Department of Parks and Recreation Form 523 for Historic Resources ("DPR Form") for all properties listed on the Dublin Historic Resources Inventory
- Appendix D: Tree recommendations for the Dublin Village Historic Area Specific Plan
- Appendix E: Secretary of the Interior Standards for the Treatment of Historic Properties – Available on request
- Appendix F: Dublin Historic Park Draft Master Plan, prepared by Royston Hanamoto Alley and Abey, May 2006 – Available on request
- Appendix G: Dublin Historic Resource Identification Project (Final), prepared by Page and Turnbull, January 2004 – Available on request
- Appendix H: Archeological Assessment Report, Donlon Way Specific Plan, prepared by William Self & Associates, August 2003 – Report contains confidential archeological information. Non-sensitive portions of the report available on request

EXHIBITS

Exhibit 1:	Regional Context Map
Exhibit 2:	Local Context Map
Exhibit 3:	Specific Plan Boundary
Exhibit 4:	Existing Uses
Exhibit 5:	Existing General Plan
Exhibit 6:	Existing Zoning
Exhibit 7:	Circulation System
Exhibit 8:	Utility Plan
Exhibit 9:	Vision Diagram for the Dublin Village Historic Area with proposed streetscape enhancements
Exhibit 10:	Land Use Plan (includes General Plan and Specific Plan Land Use Designations)

TABLES

Table 1:	Maximum Development Potential in the Specific Plan area
Table 2:	Specific Plan Land Use designations and General Plan Land Use Map amendments
Table 3:	Dublin Historic Resources Inventory
Table 4:	Facility Maintenance Responsibility

SECTION 1

EXECUTIVE SUMMARY

The Dublin Village Historic Area Specific Plan is the culmination of five years of planning efforts in the City's historic core. It was developed to guide future development in the specific plan area to be sensitive to the area's historic past, and also to formalize the City's commitment to preserving and enhancing the area's remaining historic, cultural, and archeological resources for the future.

The area that was the original settlement of Dublin Village now consists of several properties that are developed with contemporary office buildings, shopping centers, and residential apartments. Only a handful of the area's original historic structures remain, including St. Raymond's Church, the Murray Schoolhouse, Pioneer Cemetery, Green's Store, and two bungalow homes. St. Raymond's Church, Murray Schoolhouse, and Pioneer Cemetery make up the core of Dublin Village. Today, these resources function as the Dublin Heritage Center, a local history museum and cultural center. Other prominent historic buildings and resources, including Amador's Adobe, the Murray House/Green's Mansion, Dougherty Hotel, Amador Valley Hotel, and the majority of the Alamilla Springs, were lost due to neglect, natural disasters, and contemporary commercial and newer development.

In order to ensure that the remaining resources are preserved and highlighted as the birthplace of the City of Dublin, the City Council authorized the Staff to prepare a specific plan for the area in 2001. Staff, in cooperation with several consultants over the course of the past five years, has developed this document that will serve as the blueprint for future public and private improvements in the specific plan area.

The Specific Plan is divided into several sections that discuss the general context of the planning area, analyze the existing conditions in the area, propose a land use concept, recognize the area's valuable resources, and suggest design guidelines to steer future development. The document closes with a discussion of the infrastructure and maintenance of facilities

in the area and also how the Specific Plan will be administered and implemented.

SECTION 2

INTRODUCTION, PURPOSE, AND PROJECT LOCATION

SECTION 2.1

PURPOSE OF THE SPECIFIC PLAN

For several years, the City Council has been considering how to take a more proactive approach to building Dublin's core historic area into a cohesive district to better highlight Dublin's historic resources. In order to accomplish this goal, the City Council authorized the creation of a Specific Plan for the Donlon Way area (from this point forward referred to as the Dublin Village Historic Area) in 2001.

The Dublin Village Historic Area Specific Plan provides a blueprint for the eventual implementation of the overall vision for the area and the associated design enhancements. The Specific Plan also governs the use of land, development standards, design of public improvements, and the design and appearance of private improvements including buildings, signs and landscaping. Land use standards, regulations, definitions, and other criteria contained in this document shall govern all properties within the boundary of the Dublin Village Historic Area Specific Plan.

SECTION 2.2

LOCATION

The Dublin Village Historic Area is sited within the City of Dublin, in southeastern Alameda County, California. The area consists of approximately 38 acres of land generally located northwest of San Ramon Road and Interstate 580. The specific plan area includes commercial, residential, public, and business park/industrial properties surrounding the intersection of Donlon Way and Dublin Boulevard.

SECTION 2.3

LOCAL AND REGIONAL CONTEXT

The Dublin Village Historic Area is sited within the Livermore-Amador Valley area, a rapidly growing area in the East Bay of the San Francisco Bay region. As of January 1, 2006, the City of Dublin was estimated to have a population of approximately 39,610 persons in a geographic area of approximately 14 square miles. Exhibit 1 shows the regional context of the planning area.

Major uses surrounding the Dublin Village Historic Area include low density, single-family residential housing to the north, commercial office complexes to the west, Interstate Highway 580 to the south, and San Ramon Road to the east. Exhibit 2 shows the location of the project boundary in relation to the remainder of the City of Dublin and the other specific plan areas.

EXHIBIT 1: REGIONAL CONTEXT

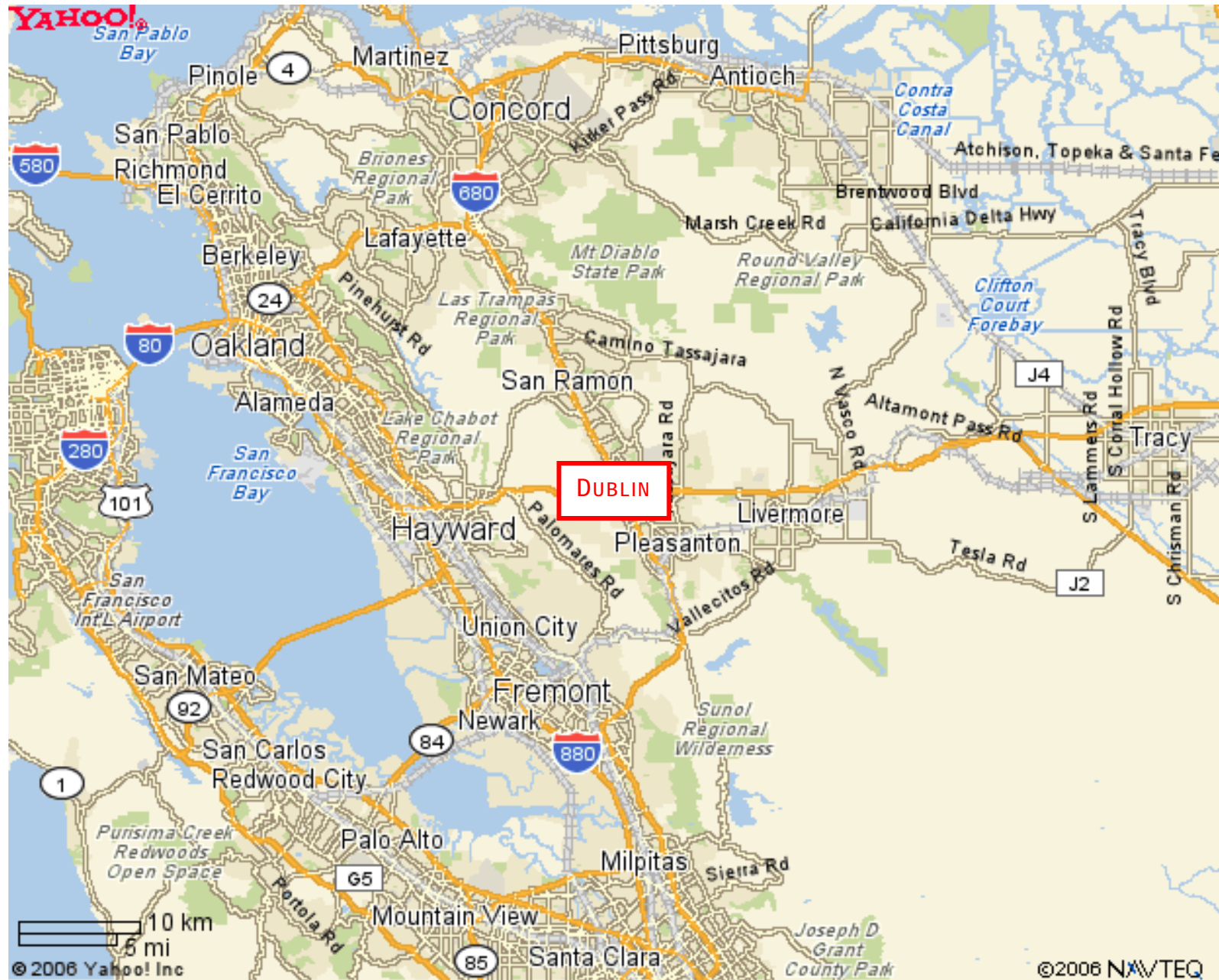
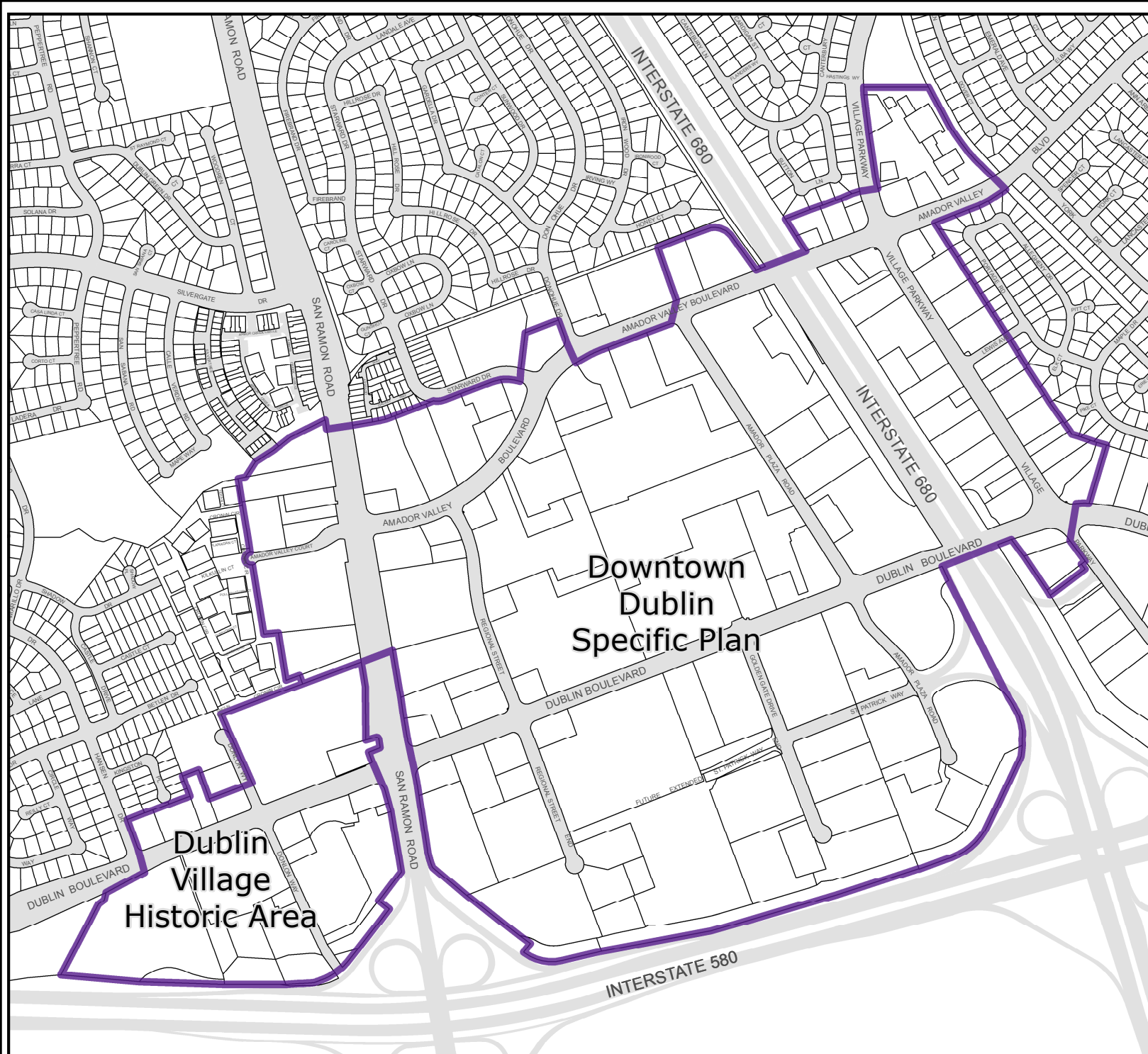


Exhibit 2

Downtown Dublin Specific Plan

Local Context



September 2014

NOTE: The internal system of
local streets shown in this figure
is illustrative only.

0 100 200 400 600 800 1,000
Feet

0 0.075 0.15
Miles

SECTION 2.4

SPECIFIC PLAN GOALS AND OBJECTIVES

The goals of the Dublin Village Historic Area Specific Plan are as follows:

Goal 1: Preserve and protect the valuable historic resources within the Dublin Village Historic Area.

- Objective 1.1: Identify Dublin's historic resources and adopt a formal Historic Resources Inventory.
- Objective 1.2: Identify mechanisms to protect properties on the Historic Resources Inventory from being destroyed or altered to the point of removing their historic value.
- Objective 1.3: Identify incentives to encourage the preservation and enhancement of privately-owned historic resources.
- Objective 1.4: Pursue formal designation and recognition of Dublin's historic resources through the California State Office of Historic Preservation and National Registry.
- Objective 1.5: Work cooperatively with property owners to rehabilitate Alamilla Springs.
- Objective 1.6: Ensure that improvements and renovations to publicly-owned historic resources are done according to the Secretary of the Interior's Standards for the Treatment of Historic Properties.

Goal 2: Guide the design of future development to reinforce the unique historic qualities and design elements that once defined Dublin Village.

- Objective 2.1: Create design guidelines for residential, commercial, and mixed use development on private property.

Objective 2.2: Create design guidelines that provide direction for future streetscape improvements in the public right of way.

Objective 2.3: Create guidelines that provide direction on the preferred preservation and rehabilitation techniques for properties on the Historic Resources Inventory.

Goal 3: Improve the public realm to create a positive pedestrian experience, enhance the area's image as a historic district, and create a unique sense of place.

- Objective 3.1: Design gateway signage for the entrances to the Specific Plan area that highlight the area's historic importance to the Livermore/Amador Valley area.
- Objective 3.2: Improve pedestrian crosswalks in the Specific Plan area across Dublin Boulevard and across Donlon Way.
- Objective 3.3: Consider the appropriate placement of public art in the Specific Plan area (e.g. a mural along the block wall on Dublin Boulevard or other art pieces in future plaza/park areas).
- Objective 3.4: Consider the creation of an entry plaza on the southwest corner of Dublin Boulevard and Donlon Way, as this is gateway to the City's Heritage Center.
- Objective 3.5: Consider capital improvement expenditures to accomplish these goals

These goals shall be accomplished through the following means:

- Policy 1: New land uses, additions to existing land uses, and remodeling of existing buildings shall be reviewed by the City of Dublin to ensure consistency with the Dublin Village Historic Area Specific Plan.

Policy 2: The City of Dublin shall take the lead in funding public improvements called for within the Specific Plan, assisted by local property owners and businesses to the fullest extent feasible.

SECTION 2.5

ORGANIZATION OF THE SPECIFIC PLAN

The Specific Plan provides a framework for development and redevelopment within the planning area. The Specific Plan contains a summary of the history of the area, an analysis of existing conditions, circulation, utility, zoning, and general plan maps, a section on historic resource preservation, design guidelines, streetscape planning, infrastructure and maintenance, and administration and implementation of the Specific Plan.

SECTION 3 GENERAL NOTES

SECTION 3.1 RELATIONSHIP TO THE GENERAL PLAN

Implementation of the Dublin Village Historic Area Specific Plan furthers the goals of the Dublin General Plan. The Specific Plan also allows the community to adopt more detailed guidance for the Dublin Village Historic Area, and to tailor standards and guidelines to the unique needs and characteristics of the planning area. It also allows the opportunity to establish standards and to implement programs to meet the needs of both local property owners as well as the larger Dublin community.

The Specific Plan is consistent with the Dublin General Plan in that it furthers the following policies of the General Plan:

Guiding Policy 3.3A: Expand park area throughout the primary and extended planning areas to serve new development.

Implementing Policy 3.3C: Acquire and improve parklands in conformance with the priorities and phasing recommendations of the City's Parks and Recreation Master Plan.

Guiding Policy 7.6A: Preserve Dublin's historic structures.

Additionally, all of the proposed Dublin Village Historic Area Specific Plan Land Use categories are identical to the General Plan land use categories, so they are wholly consistent between the two documents.

The Specific Plan contains text and diagrams regarding uses, improvements, and other matters consistent with Government Code

Section 65851. Any content not contained in this Specific Plan is provided in the Dublin General Plan.

SECTION 3.2 RELATIONSHIP TO THE PARKS AND RECREATION MASTER PLAN

The Specific Plan is also serving to implement the goals, policies, and action programs of the Parks and Recreation Master Plan Update (2004) as follows:

Action Program 1f: Seek to preserve existing and to acquire additional sites of historical interest or to relocate structures of historical value into an "historic park".

Action Program 1j: Pending the completion of the Historical District Designation Study of the Donlon Way area, pursue opportunities to expand the City's historic holdings in the area.

Action Program 1k: Designate sites for new parks to alleviate the 5.3 +/- acre deficiency by amending the Parks and Recreation Master Plan to show the location of such future park sites.

SECTION 3.3 RELATIONSHIP TO THE ZONING ORDINANCE AND MUNICIPAL CODE

The City of Dublin Zoning Ordinance was amended in February 2005 to create a special Historic Overlay Zoning District to implement the Dublin

Village Design Guidelines, which were adopted by the City Council in January 2005. This Specific Plan has been written to now contain the Design Guidelines *within* it (instead of as a separate document). Following the adoption of the Specific Plan, Chapter 8.62 of the Zoning Ordinance (Historic Overlay Zoning District Site Development Review) will be revised to refer to the Dublin Village Historic Area Specific Plan instead of the Dublin Village Design Guidelines.

All development, construction, and improvements in the Specific Plan area shall comply with applicable requirements of the Dublin Zoning Ordinance and other City development standards and policies unless otherwise provided in this Specific Plan.

SECTION 3.4

DEFINITIONS

For the purpose of carrying out the intent of this Specific Plan, words, phrases and terms shall be deemed to have the meaning ascribed to them as follows. In construing the provisions of this text, specific provisions shall supersede general provisions relating to the same project. All other definitions shall be as per the Dublin Zoning Ordinance. Terms not defined in the Dublin Zoning Ordinance shall have the meaning ascribed in Webster's Collegiate Dictionary.

The word "City" shall refer to the City of Dublin.

The words "City Council" shall mean the City Council of the City of Dublin.

The words "Planning Commission" shall mean the Planning Commission of the City of Dublin.

The words "Specific Plan" shall refer to this document, the Dublin Village Historic Area Specific Plan, as adopted by the Dublin City Council.

The word "shall" is mandatory; "may" or "should" is permissive.

The word "permitted" means permitted without the requirement for further discretionary permits, but subject to all other applicable regulations.

The words "acres" or "acreage" shall mean approximate acres.

The word "applicant" shall mean a person or entity making application for a land use approval pursuant to this Specific Plan.

The word "subdivision" shall include tentative and final tract maps, tentative and final parcel maps, parcel map waivers and lot line adjustments.

SECTION 3.5

SEVERABILITY

If any term, provision, condition or requirement of this Specific Plan shall be held invalid or unenforceable, the remainder of the Specific Plan or the application of such term, provision, condition or requirement to circumstances other than those in which it is held invalid or unenforceable shall not be affected thereby; and each term, provision, condition or requirement of the Specific Plan shall be valid and enforceable to the fullest extent permitted by law.

SECTION 4

EXISTING CONDITIONS

SECTION 4.1

OVERVIEW

This section of the Specific Plan identifies physical and other environmental conditions on the project site at the time this Specific Plan was prepared.

SECTION 4.2

TOPOGRAPHY AND NATURAL FEATURES

The project area is approximately 40 acres in size and is generally flat with a gradual slope to the south. Dublin Creek runs through the area from west to east on the Hexcel property and between the Heritage Center/Pioneer Cemetery and the Dublin Creek Kennel site. Alamilla Springs, a fresh water spring that was once the main watering hole for Dublin Village, sits to the northwest of the Dublin Boulevard/San Ramon Road intersection. A majority of the properties are developed and the Specific Plan area lies in an urbanized portion of Dublin. Exhibit 3 shows the boundary of the Specific Plan area.

SECTION 4.3

UNDERSTANDING HISTORIC DUBLIN VILLAGE

Prior to the arrival of European settlers, the Dublin area was inhabited by the Ohlone and Bay Miwok Indians. The first recorded arrival of Europeans in the Amador Valley took place in April of 1772. Lieutenant Pedro Fages, Fray Juan Crespi, and a dozen Spanish soldiers marched through the Valley while traveling from Drake's Bay to the Presidio of Monterey. Fages was impressed with the beauty of the Valley, particularly the rolling hills, oak woodlands, and ample ravines and streams. Based on written accounts in Crespi's diary, it seems likely that the expedition

stopped to obtain water from a spring near present day Dublin Boulevard and San Ramon Road. This fresh water spring, known as Alamilla Springs, is where the history of Dublin begins.

In 1833, the Mexican government passed the Secularization Act. This Act secularized the mission system and gave the Mexican Government the right to sell the vast land holdings of the Spanish Missions to Spanish and Mexican settlers. In August of 1835, Governor Jose Figueroa granted over 16,000 acres of land to Jose Amador, a previous civilian administrator, or Mayordomo, of Mission San Jose. Shortly after, Amador built a two-story, Monterey-style adobe near Alamilla Springs. His home, known as Rancho San Ramon, became the first settlement of present day Dublin.

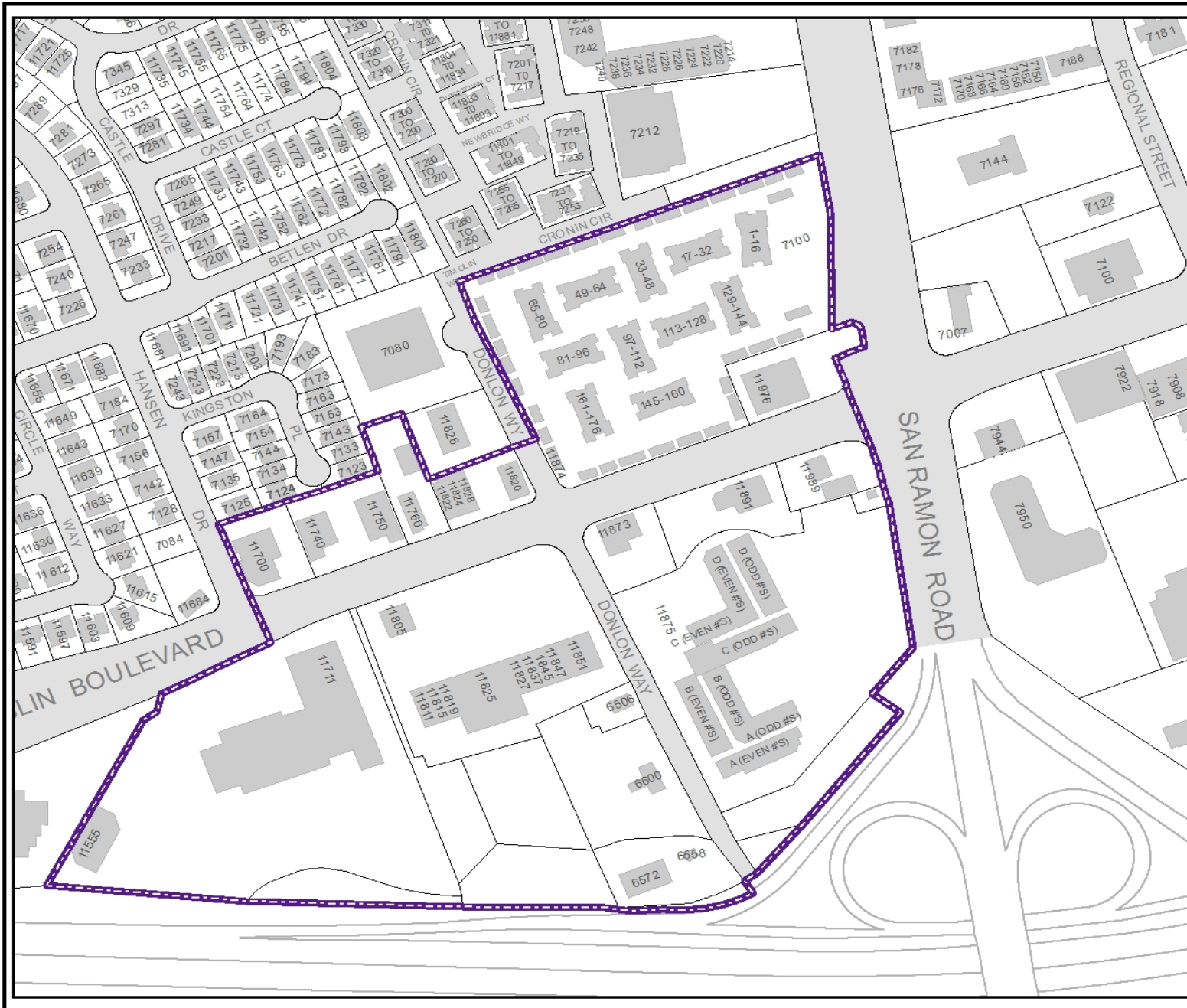
Two years later, Amador owned 14,000 cattle, 4,000 sheep, and 400 horses. Amador employed approximately 150 local Native Americans and Mexican laborers. His employees worked as vaqueros (cowboys), sheepherders, and makers of hides, tallow, soap, saddles, blankets, and farm equipment. Rancho San Ramon, which sat at the crossroads of two Indian and later Spanish trails, became a principal stopping point for travelers in search of water, food, and lodging.

The Mexican Rancho era of California History ended when American citizens in California revolted against the Mexican government. On June 6, 1846, California became an independent republic when Americans raised the California Bear Flag over Sonoma Plaza. A month later, Commodore John D. Sloat sailed into Monterey, the Capital of Mexican California, and officially seized the province as a United States territory. The signing of the Treaty of Guadalupe Hidalgo in 1848 officially ended the Mexican American War and ceded the entire northwestern part of Mexico, including present-day Arizona, California, New Mexico, Texas, and parts of Colorado, Nevada and Utah, to the United States.



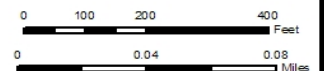
Exhibit 3 Dublin Village Historic Area Specific Plan

Boundary



July 2007

NOTE: The internal system of
local streets shown in this figure
is illustrative only.



After the Mexican American War, Amador was forced to prove title to his land holdings. This lengthy and expensive legal process forced Amador to sell parts of his property to pay for his legal fees. In 1852, two Irish immigrants named Michael Murray and Jeremiah Fallon purchased 245 acres each from Amador. They built wooden homes near Amador's Adobe and Alamilla Springs. In 1853, James Witt Dougherty arrived in the Valley and purchased 10,000 acres of Rancho San Ramon. Dougherty and his family initially made their home in the old Amador Adobe. By the late 1850s, the tiny settlement known as Amador's or Dougherty's Station had grown to include several dwellings and a few commercial, religious, and civic buildings. A formal cemetery was also established in 1859 when Tom Donlon, a young Irishman, was buried after he was accidentally killed while working on the roof of St. Raymond's Catholic Church. In 1860, the Amador Hotel was built, which became a stopping point for the stagecoaches that ran between Oakland and Stockton, and Martinez and San Jose.

By 1878, the settlement had grown to include a school, a church, a cemetery, a Sunday school, two hotels, a general store, a harness shop, a shoe shop, and blacksmith shop. The settlement was named after Ireland's capitol city, Dublin, due to the presence of a large number of Irish American immigrants.

Despite its early growth, Dublin's chances of becoming a major commercial center were halted when the Central Pacific Railroad was built several miles from the settlement. The railroad hurt the stagecoach business and inhibited Dublin's potential to grow into a major commercial and population center.

Dublin's fate changed in the early 1900s due to increased automobile ownership and improvements in transportation infrastructure. CA-21, a north-south highway from Benicia to San Jose (now San Ramon Road) and the east-west Lincoln Highway or Route 50 (now Dublin Boulevard) both made Dublin an important crossroads for automobile travelers. By 1934, Dublin had grown to include a school, a church, two hotels, a grocery store, a blacksmith shop, five gas stations, and a library. Both sides of the Lincoln Highway were lined with businesses.

Between the mid-1930s to the end of World War II, Dublin Village did not change very much. After World War II, suburban growth began to spread across the Valley. Interstate 680 and Interstate 580 were constructed in the 1960s and 1970s, which greatly improved transportation routes to and from the Bay Area and encouraged Bay Area workers to move east. Large residential subdivisions eventually surrounded and encroached into Dublin Village. By the mid-1970s, much of older buildings that made up Dublin Village had been destroyed by neglect, fires, or were demolished for redevelopment, leaving only a handful of historic buildings. Local preservation efforts in the 1970s saved some of these resources from demolition. Resources that were lost were replaced with suburban shopping centers, office buildings, and apartment complexes.

Dublin incorporated as a city in 1982 with an initial population of 15,000. By 1990, the population of Dublin reached 23,229. Dublin grew dramatically in the 1990s with residential, commercial, and office developments. In 1997, the Dublin-Pleasanton Bay Area Rapid Transit (BART) Extension was completed, bringing mass rail transit to residents and workers in Dublin. According to the California State Department of Finance, the estimated population of Dublin reached 39,610 persons in January 2006.

SECTION 4.4

EXISTING LAND USE AND PROPERTY PARCELIZATION

Today, the original settlement of Dublin Village consists of several properties that are developed with office, commercial, residential, and civic land uses. Most of the Specific Plan area is developed with contemporary office buildings, shopping centers, and residential apartments. Only a handful of the area's original historic structures remain, including St. Raymond's Church, Murray Schoolhouse, Pioneer Cemetery, Green's Store, and two bungalow homes. St. Raymond's Church, Murray Schoolhouse, and Pioneer Cemetery make up the core of Dublin Village. Today, these resources function as the Dublin Heritage Center, a local history museum and cultural center. Other prominent historic buildings and resources, including Amador's Adobe, the Murray House/Green's Mansion,

the Dougherty Hotel, the Amador Valley Hotel, and the majority of the Alamilla Springs, were lost due to neglect, natural disasters, and contemporary commercial and residential developments.

Exhibit 4 shows the general distribution of uses within the project area and the configuration of the lot parcelization. Typically, buildings are oriented toward either Dublin Boulevard or Donlon Way. Vehicular parking is typically provided behind or adjacent to buildings. While no parking is permitted on Dublin Boulevard, there is on-street parking on Donlon Way.

A summary of parcels in the project area, including lot sizes and ownership (as taken from the most recent County Assessor records) is contained in the Appendix A of this document. Overall, there are 23 parcels in the project area with 17 different owners. The City of Dublin owns four parcels, the Dublin Historical Preservation Association owns two parcels, CalTrans owns two, and Hexcel Corporation owns two. All other property owners own one parcel apiece.

Lots sizes vary greatly and range from 3,726 square feet (a utility switching station) to 8.28 acres (The Springs apartment complex). Most of the properties have been developed, but there are a few vacant properties as well: two parcels belong to the State of California (adjacent to Interstate 580) and one parcel belongs to the Dublin Historical Preservation Association, which is planned for the future cemetery expansion area.

Much of the historic character and image of Dublin Village has been compromised by contemporary development and related roadway improvements. Commercial and office buildings in the area are setback from the street and sidewalk and have large surface parking lots. Most buildings are constructed with modern building forms and materials.

The character and image of Dublin Village is also affected by significant arterial and freeway traffic. Highway 580 is located immediately south of the area. Automobile and heavy truck traffic on Highway 580 generates substantial noise. Two major arterial streets, Dublin Boulevard and San Ramon Road, also cross the area. These streets carry high traffic

volumes, which affects the pedestrian environment and limits street crossings between Dublin Village and the rest of the Dublin.

SECTION 4.5

LAND USE REGULATORY FRAMEWORK: CURRENT GENERAL PLAN LAND USE DESIGNATIONS AND ZONING

Land use regulation for the project area is provided by the City of Dublin through the General Plan and Zoning Ordinance (Chapter 8 of the Municipal Code).

The General Plan Land Use designations for the Dublin Village Historic Area at the time of adoption are as follows:

Retail/Office designation for a majority of the project area, which allows shopping centers, retail shops, eating establishments, business and professional offices, motels, and service stations. There are approximately 18.55 acres that are currently designated Retail/Office, of which, 1.65 acres are vacant parcels.

Business Park/Industrial for two parcels, which permits non-retail businesses such as research and development, light manufacturing, and administrative offices. There are approximately 8.95 acres that are currently designated Business Park/Industrial.

Medium-High Density Residential for one parcel, which permits residential units at a density of 14-25 units per acre. There are approximately 8.28 acres that are currently designated Medium/High Density Residential.

Parks/Public Recreation for four parcels, which permits publicly-owned parks and recreation facilities. There are approximately 2.52 acres that are currently designated Parks/Public Recreation.

Exhibit 5 depicts the current General Plan designations within the project area prior to adoption of the Specific Plan.



Exhibit 4

Dublin Village Historic Area Existing Uses

(Prior To Plan Adoption)

Existing Land Use

Apartment Complex

Cemetery

Church

Daycare Center

Gas Station

Heritage Parks and Museums

Residential/Kennel

Office Complex

Office and Manufacturing Facility

Resturant

Retail

Vacant

Parcels

Buildings

Streets

Specific Plan Area



July 21, 2014

NOTE: The internal system of local streets shown in this figure is illustrative only.

0 100 200 400 Feet

0 0.0375 0.075 Miles



Exhibit 5

Dublin Village Historic Area Specific Plan

Existing
General Plan
Land Use

(Prior To Plan
Adoption)

General Plan Land Use

Public/Semi-Public/Open Space

Public/Semi-Public Facility



Parks/ Public Recreation



Commercial/Industrial

Retail/Office



Business Park/Industrial



Residential

Medium/High-Density Residential



Parcels



Buildings



Streets



Specific Plan Area

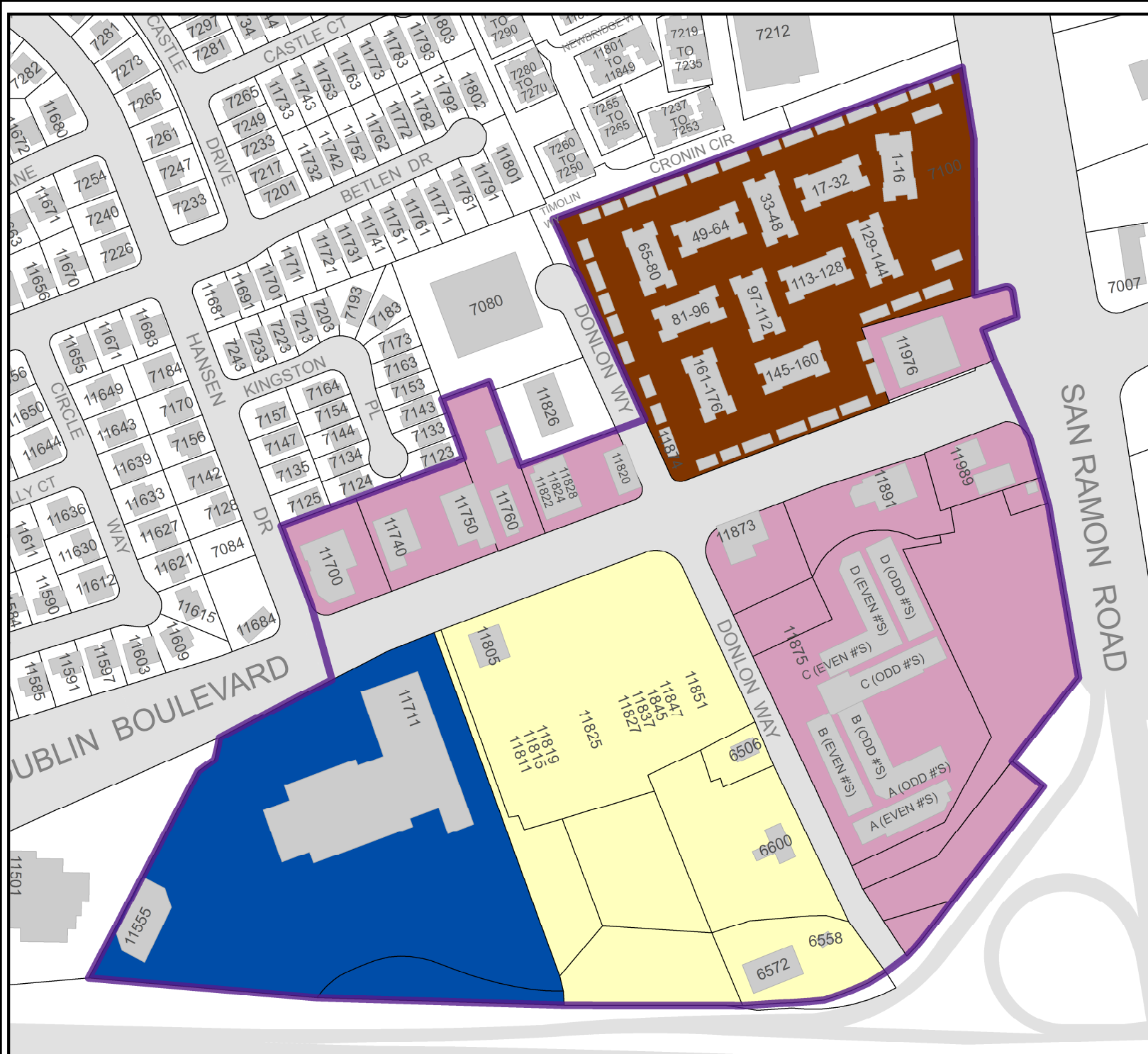


July 21, 2014

NOTE: The internal system of
local streets shown in this figure
is illustrative only.

0 50 100 200 300
Feet

0 0.0325 0.065
Miles



The zoning districts for the Dublin Village Historic Area are as follows:

C-1: Retail Commercial, which permits a range of retail commercial, office, restaurant, and similar uses

C-O: Commercial Office, which permits administrative and professional offices

M-1: Light Industrial, which permits a range of research, light manufacturing, and office uses

R-S: Multi-Family Residential, which permits residential uses

PD: Planned Development, which permits the uses specified in each individual Planned Development Zoning Ordinance (in this case, a combination of commercial office, retail, restaurant, and church uses)

A: Agriculture, which permits a variety of agricultural, animal keeping, and residential uses

Exhibit 6 depicts the Zoning Districts prior to adoption of the Specific Plan.

SECTION 4.6

TRANSPORTATION AND CIRCULATION

Major streets serving the Specific Plan area include Dublin Boulevard, San Ramon Road, and Donlon Way and are described more fully below:

Dublin Boulevard is a major east-west roadway through the middle of the planning area. Dublin Boulevard has six travel lanes and raised medians on the east side of San Ramon Road, four travel lanes and a raised median from San Ramon Road west to Donlon Way, and four travel lanes without a median west of Donlon Way. Dublin Boulevard is designated as a route of regional significance in the Tri-Valley Transportation Plan and Action Plan. It is also included in the Congestion Management Program (CMP) network for the Alameda County Congestion Management Plan.

San Ramon Road is oriented in a north-south direction immediately east of the planning area. A major arterial street, San Ramon Road has six

travel lanes and raised medians north of Interstate 580. A full east-west access interchange is located at San Ramon Road and I-580. North of Amador Valley Boulevard, San Ramon Road narrows to four travel lanes. In the West Dublin BART planning area, this roadway provides access to retail commercial uses. San Ramon Road is included in the Congestion Management Program (CMP) network for the Alameda County Congestion Management Plan.

Donlon Way is oriented in a north-south direction in the middle of the planning area. The most prominent street for this historic area, Donlon Way is a short two-lane street that serves the Dublin Heritage Center and was the area's historic stagecoach route before the construction of Interstate 580 turned the street into a cul-de-sac.

Exhibit 7 depicts the current Circulation System within the project area.

Regional circulation linkage is provided by I-680, a north-south freeway and I-580, an east-west freeway. The Livermore Amador Valley Transit Authority (LAVTA) provides bus transit service ("WHEELS") through the Dublin area. Bus routes serving the vicinity of the Dublin Village Historic Area include bus line R, 3, and 10, which offers regular/limited service and has a stop near the corner of Dublin Boulevard and San Ramon Road, and bus line 335, which offers school service and passes through the planning area on Dublin Boulevard.













The West Dublin BART Station is located at the end of Golden Gate Drive and less than one mile from the Specific Plan area. The BART station provides a 722-space parking structure as well as bike racks and bike lockers. Bus service to the BART Station is provided by LAVTA.

A Class 2 bike lane is located along Dublin Boulevard between San Ramon Road and Hansen Drive and provides a striped lane for one-way bike travel on the street. A Class 2 bike lane is also proposed west of Hansen Drive. San Ramon Road has a Class 2 bike lane on the street and a Class 1 bike path on the west side of the street; a Class 1 bike path is a path separated from the roadway and designated solely for bike and pedestrian travel.

Exhibit 6

Dublin Village Historic Area Specific Plan Zoning

(Prior To Plan
Adoption)

-  Agriculture
-  Retail Commercial
-  Neighborhood Commercial
-  Commercial Office
-  Light Industrial
-  Planned Development
-  Single Family Residential
-  Multi-Family Residential
-  Parcels
-  Buildings
-  Streets
-  Specific Plan Area

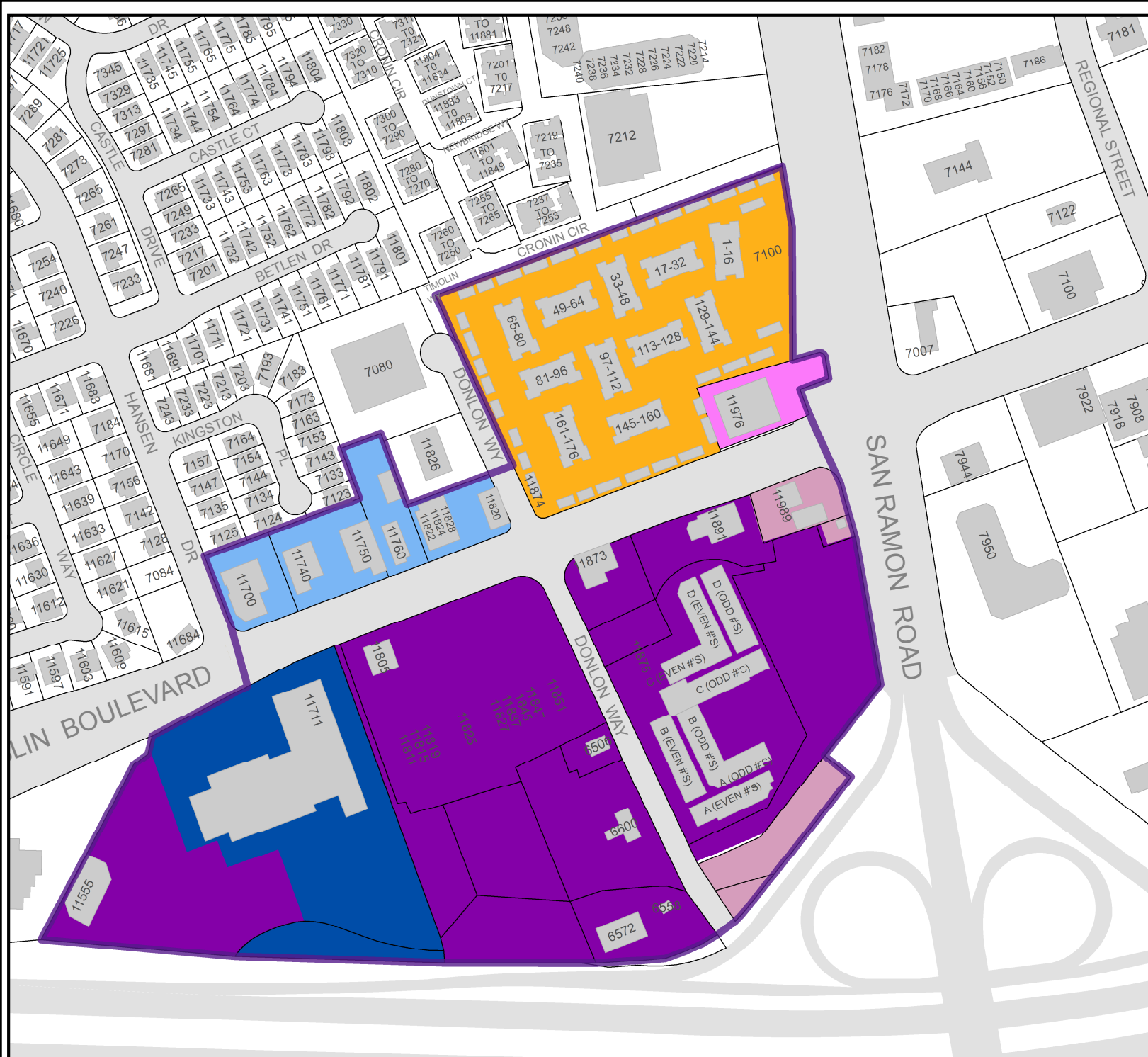


July 21, 2014

NOTE: The internal system of
local streets shown in this figure
is illustrative only.

0 100 200 400
Feet

0 0.03 0.06
Miles



Public sidewalks have been constructed on most portions of all the public streets in the Specific Plan area, and enhancements to the public sidewalks on Dublin Boulevard and Donlon Way are proposed as part of the streetscape improvements of the Plan.

**SECTION 4.7
PUBLIC SERVICES**

Existing service providers to the Specific Plan area include:

Police Services:	City of Dublin (contracted with Alameda County Sheriff's Department)
Fire and Emergency Services:	City of Dublin (contracted with Alameda County Fire Department)
Roadway Maintenance:	City of Dublin Public Works Department
Library:	Alameda County Library (Dublin Branch)
Parks and Recreation:	City of Dublin Parks and Community Services Department
Water and Sewer:	Dublin San Ramon Services District
Waste Disposal:	City of Dublin (contracted with Amador Valley Industries)
Phone:	AT&T/SBC/Pacific Bell
Gas and Electric	Pacific Gas and Electric

SECTION 4.8: UTILITIES

The Specific Plan area is presently served by a wide range of utilities and infrastructure, including:

Water and Sewer: Dublin San Ramon Services District (DSRSD) currently provides retail water and sewer services to the City of Dublin, including the Specific Plan area. Currently, 100% of the DSRSD potable water supply is

provided by Alameda County Flood Control and Water Conservation District (Zone 7). Water enters DSRSD's distribution system from Zone 7 Cross Valley Aqueduct through four turnouts. The turnouts are equipped with chlorination and fluoridation facilities which can disinfect and fluoridate water delivered from Zone 7 prior to entering DSRSD's system.

DSRSD currently has four pipeline interties, two with East Bay Municipal Utility District (EBMUD) and two with the City of Pleasanton for rapid emergency response. The interties are strictly for emergency conditions, such as a major pipeline break, supply contamination, interruption of deliveries due to an earthquake, flood, or other disaster. These connections would allow either agency to obtain water from the other agency during an emergency.

As is typically the case with new development applications in the City, individual development proposals will be reviewed on a case-by-case basis by DSRSD Staff. If individual development exceeds water demand or sewer capacity, DSRSD will require either a "looped system" or an increase in water pipe diameter to supply the project.

DSRSD provides wastewater collection and treatment for the City of Dublin. The DSRSD wastewater collection system includes sanitary sewers from 6 to 42 inches in diameter, with a range in age from 5 to 40 years old. Land use data form the basis for estimating wastewater flows in the collection system. Land use projections for DSRSD service area are based on the General Plan land use designations of the service area. Servicing the existing development with the existing General Plan land use designations is within the ultimate capacity of the DSRSD wastewater system.

Stormwater drainage: Stormwater drainage is provided by the City of Dublin Public Works Department and all runoff in the vicinity is directed to regional storm drain facilities owned and maintained by Zone 7 of the Alameda County Flood Control and Water Conservation District. The regional drainage facilities ultimately flow to Arroyo de la Laguna, which flows in a westerly direction through Niles Canyon until it ultimately discharges to the San Francisco Bay.

Servicing the existing development with the existing General Plan land use designations is within the ultimate capacity of the City's storm drain system.

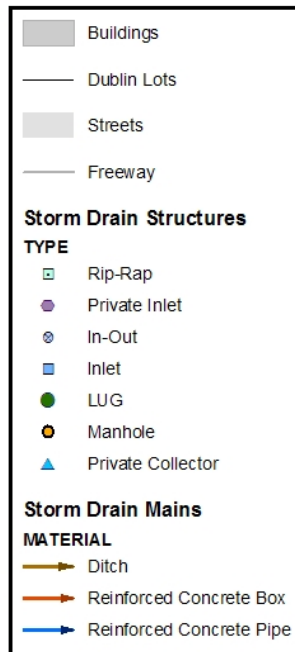
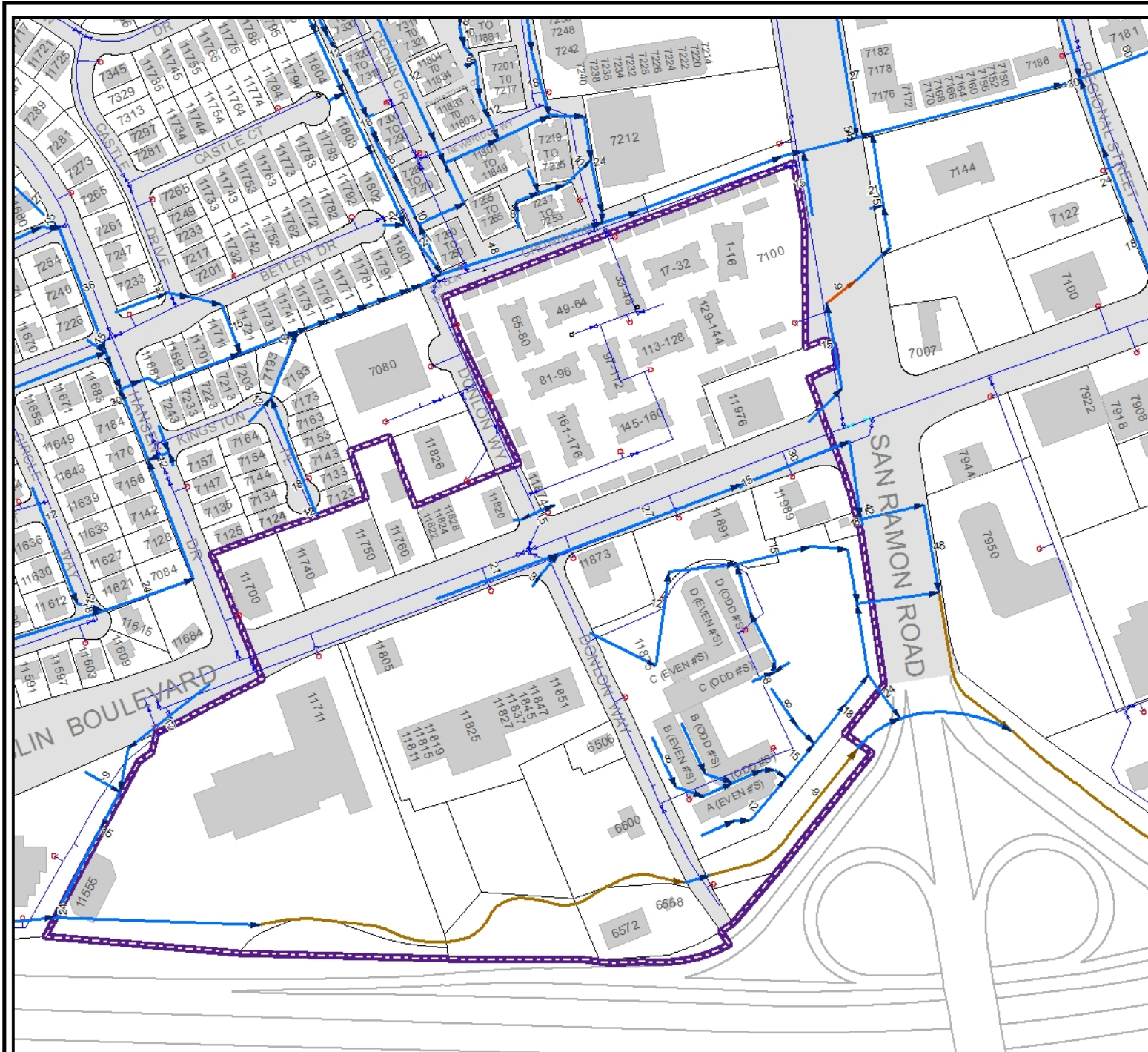
However, it should be noted that Zone 7's Stream Management Master Plan contains plans to retrofit the culvert that carries Dublin Creek under Donlon Way to increase the culvert capacity and minimize the risk of flooding in the area. Currently, most of the properties in the Specific Plan area are within the FEMA 100-year or 500-year floodplain and new construction in the area is subject to floodplain regulations. Once this culvert is improved, the potential for flooding in the project area will be reduced.

Exhibit 8 shows the approximate location of existing utility facilities in the project area.



Exhibit 8 Dublin Village Historic Area Specific Plan

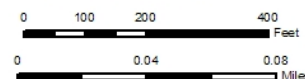
Utility Plan



July 2007

NOTE: The internal system of local streets shown in the figure is illustrative only.

Dublin San Ramon Services District (DSRS) operates the water delivery and waste water system within the City. The water system shown is courtesy of DSRS.



SECTION 5

LAND USE CONCEPT

SECTION 5.1: EXISTING DEVELOPMENT AND PROPOSED DEVELOPMENT POTENTIAL

No General Plan density or intensity increases are proposed for properties in the Specific Plan area. However, there is development potential in the

area due to the fact that the sites are currently developed at less than the maximum intensity permitted in the General Plan (See Table 1). All of this capacity exists today. The land use changes in the Historic Area Specific Plan decrease the development potential by shifting approximately 7.55 acres of land from Retail/Office to Parks/Public Recreation.

Table 1: Maximum Development Potential in the Specific Plan area
(Existing development acreage and square footage from the Alameda County Assessor's Office – current as of March 2006)

SP/GP land use category	Amount of existing development	Amount of proposed acreage in Specific Plan area	Floor to Area Ratio or number of dwelling units	Development Potential under Specific Plan	Difference
Retail/Office	218,812 square feet on 20.47 acres	6.98 acres	.25 to .60 FAR	Up to 182,429 SF	-36,383 SF
Medium Density Res.	0	5.94 acres	6.1-14 units/acre	Up to 83	+83 units
Med/High Density Res.	150,656 sf (176 units) on 8.28 acres	8.28 acres	14-25 units/acre	Up to 207 units	+31 units
Business Park/Industrial	56,054 square feet on 8.95 acres	8.95 acres	.30 to .40 FAR	Up to 154,202 SF	+98,148 SF
Parks/Public Recreation	6,344 square feet on 2.52 acres	10.07 acres	No specific development intensity noted	7,144 SF *	+ 800 SF
Total	281,210 SF and 176 units on 40.22 acres			343,775 SF and 290 units	+62,565 SF and +114 units

* Draft Dublin Historic Park Draft Master Plan proposes an 800 square foot pavilion/classroom building.

SECTION 5.2: CONCEPT OVERVIEW/VISION FOR THE DUBLIN VILLAGE HISTORIC AREA

In September of 2004, RBF Consulting's Urban Design Studio and City Staff held a workshop with the City Heritage and Cultural Arts Commission, Specific Plan area property owners, and business owners to discuss the history and potential future of the Dublin Village Historic Area. The goals of the workshop were to:

- Gain an understanding of the community's values;
- Understand past trends and current issues affecting Dublin Village; and,
- Discuss the community's desired image and character for future development in Dublin Village

Based on the discussion at the public workshop, the following conceptual vision statement that describes the potential future of Dublin Village was developed and adopted by the City Council as a part of the Dublin Village Design Guidelines in January 2005.

Conceptual Vision for the Future of Dublin Village

Dublin Village is a well-defined historic district with a mix of compatible civic, commercial, and residential land uses. The area contains several historic buildings, all of which have been properly rehabilitated and preserved. The Dublin Heritage Center and Pioneer Cemetery form the core of the historic area, and provide opportunities for residents and guests to explore Dublin's heritage and past.

From the Dublin Heritage Center, visitors can take a self-guided "Walking Tour of History". This tour guides visitors to existing historic resources, as well as other points of historical interest, such as the sites of Amador's Adobe, the Murray House/Green's Mansion, the Dougherty Hotel, and the Amador Valley Hotel. The points of historic interest are marked with monuments that provide pictures

and written descriptions of the area's significance. The walking tour also guides visitors to the recently renovated Alamilla Springs.

Along the tour, visitors will also see gateway signs for the district, new public spaces, and various streetscape enhancements and traffic calming improvements, all of which have contributed to a more positive pedestrian experience along Donlon Way and Dublin Boulevard. Visitors will also see recent development projects that have recaptured the character of Historic Dublin Village and contribute to the area's renewed sense of place. The highlight of the walking tour is a mural along Dublin Boulevard that illustrates the impact transportation has had on Dublin Village and its role as an important regional crossroads.

The City recognizes that this vision will not be achieved overnight. Nonetheless, the City believes that incremental changes can occur if development is properly planned, designed, and implemented. The way in which properties within Dublin Village are rehabilitated or developed in the future will greatly influence its overall image. Adherence to the Design Guidelines in Section 7 will ensure that the area's historic character and flavor is retained and enhanced.

After the Design Guidelines were adopted in January 2005 that contained the above vision, the Dublin Historic Park Draft Master Plan was drafted, which incorporated many of the elements discussed, especially as they related to the streetscape improvements and the future park/public space expansion.

Exhibit 9 is a graphic illustration of how the Dublin Village Historic Area could look after the public and private improvements are made. (The diagram is for illustrative purposes only.)

EXHIBIT 9: VISION DIAGRAM FOR THE DUBLIN VILLAGE HISTORIC AREA



Conceptual Vision For the Future of Dublin Village

SECTION 5.3: PROPOSED LAND USE CATEGORIES

The following Specific Plan land use categories are created within the Dublin Village Specific Plan area:

Retail/Office designation (.25 to .60 FAR), which allows shopping centers, retail shops, eating establishments, business and professional offices, motels, and service stations.

Business Park/Industrial designation (.30 to .40 FAR), which permits non-retail businesses such as research and development, light manufacturing, and administrative offices.

Medium-High Density Residential designation, which permits residential units at a density of 14-25 units per acre.

Parks and Public Recreation designation, which permits publicly-owned parks and recreation facilities.

The land use categories and development densities are the same as those in the Dublin General Plan, and are applied to the Specific Plan area as illustrated in Exhibit 10.

The General Plan land use designation the for following parcels will change as approximately 7.55 acres are redesignated from Retail/Office to Parks/Public Recreation, as shown in Table 2.

Table 2: Specific Plan Land Use designations and General Plan Land Use Map amendments (at time of Plan Adoption)

Site Common Name (Owner)	Address	APN	Existing GP land use designation	Proposed Specific Plan and General Plan land use designation
Dublin Square Shopping Ctr. (Berkeley Land Co.)	11759 Dublin Blvd.	941-1560-007-01	Retail/Office	Parks/Public Recreation
Green Store (Tri Valley Church of Christ)	11873 Dublin Blvd.	941-1550-004	Retail/Office	Parks/Public Recreation
Hawthorne Lane/ Pioneer Cemetery (City of Dublin)	None	941-1560-005	Retail/Office	Parks/Public Recreation
Pioneer Cemetery (City of Dublin)	None	941-1560-006	Retail/Office	Parks/Public Recreation
Vacant parcel (Dublin Historical Preservation Assn.)	None	941-1560-003-03	Retail/Office	Parks/Public Recreation

Exhibit 10

Dublin Village Historic Area Specific Plan

Land Use Plan



Parcels

Buildings

Streets

General Plan Land Use
Public/Semi-Public/Open Space

Parks/ Public Recreation

Commercial/Industrial

Retail/Office

Business Park/Industrial

Residential

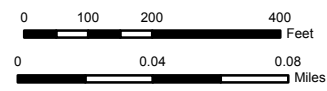
Medium-Density Residential

Medium/High-Density Residential



September 2014

NOTE: The internal system of local streets shown in this figure is illustrative only.



SECTION 5.4: PERMITTED/CONDITIONAL LAND USES

Permitted, conditional, and temporary uses allowed in the Dublin Village Specific Plan area are located in the City's Zoning Ordinance by zoning district. Uses permitted (by right, conditionally, and otherwise) in the Specific Plan area shall conform to Chapter 8.12 of the Dublin Zoning Ordinance (Zoning Districts and Permitted Uses) as well as Chapter 8.62 (Historic Overlay Zoning District Site Development Review).

by providing additional facilities for the programs that already exist and will enable the City to offer expanded services.

SECTION 5.5: DEVELOPMENT STANDARDS

Minimum lot size and dimensions, building height, setbacks, and other development standards/regulations allowed in the Dublin Village Specific Plan area are located in the City's Zoning Ordinance by zoning district, unless different regulations are specifically noted in Section 6 (Historic, Cultural, and Archeological Resource Preservation) and/or Section 7 (Design Guidelines) of this Specific Plan. All development in the Specific Plan area shall conform to Chapter 8.36 of the Dublin Zoning Ordinance (Development Regulations) as well as Chapter 8.62 (Historic Overlay Zoning District Site Development Review), and any other applicable development standards unless otherwise specified in this Specific Plan.

SECTION 5.6: MASTER PLAN FOR PARKS AND PUBLIC RECREATION OPPORTUNITIES IN THE SPECIFIC PLAN AREA

The Dublin Heritage Center and surrounding properties embody all that remains of the original Dublin Village settlement area. In an effort to re-establish the City's historic heart, the City has been exploring the possibility of expanding the Heritage Center and creating a Historic Park. This Specific Plan, and accompanying General Plan Land Use Map amendments, will change the land use designation on five parcels in the Specific Plan area from Retail/Office to Parks/Public Recreation for the purposes of expanding the existing historic park. A Master Plan for the expanded Historic Park would implement the Specific Plan as it refines plans for the physical development and improvements in the Historic Park. The Historic Park will complement and expand the existing Heritage Center

SECTION 6

HISTORIC, CULTURAL, AND ARCHEOLOGICAL RESOURCE PRESERVATION

SECTION 6.1: HISTORIC RESOURCE PRESERVATION

6.1.1 Historic Resources Inventory

In 2003, the City contracted with architectural historians Page & Turnbull to identify and map existing historic resources in the Dublin Village Specific Plan area and to make recommendations for the continued preservation of those resources.

The *Historic Resources Identification Project (Final)* was completed in January 2004 and it identified several resources that should be protected as development in the Dublin area continues. Some of these resources have special status at either the State or Federal level, but all of them are recommended to be formally recognized at the local level as well.

The adoption of this Specific Plan creates Dublin's Historic Resources Inventory (HRI). The creation of the local Historic Resources Inventory provides the community with the means to recognize those few remaining resources that have a place in Dublin's history, including those resources that might be significant to the immediate community but not significant at the state or federal level. Due to the Historic Overlay Zoning District and Dublin Village Design Guidelines that were adopted in January 2005, which set forth the standards under which alternations to the structures listed below can be conducted, inclusion of the properties on a local HRI does not substantively change the status of the property.

The Historic Resources Inventory is comprised of the properties listed in Table 3.

Table 3: Dublin Historic Resources Inventory

Resource Name	Owner	Location	Special Status
St. Raymond's Church	City of Dublin	6506 Donlon Way	Combined to form the Dublin Heritage Center. St. Raymond's Church and Pioneer Cemetery are recognized on the National Register of Historic Places, the California Register of Historic Places, and as California Points of Historical Interest. Murray Schoolhouse is potentially eligible for listing on the federal and state registers, and is recognized as a California Point of Historical Interest.
Murray Schoolhouse	City of Dublin	6600 Donlon Way	
Pioneer Cemetery	City of Dublin	No address	
Green Store	Tri Valley Church of Christ	11873 Dublin Blvd.	Recognized as a California Point of Historical Interest, appears to be eligible for listing on both the California and National Registers.
Alamilla Springs	Dublin 9-10b, LLC (Springs Apts.)	7100 San Ramon Road	Portion of the site that contains the remnant of Alamilla Spring appears to be eligible for listing on both the California and National Registers.
Ponderosa House	Susan and Steven Hagan	6572 Donlon Way	Significant at the local level, not eligible for listing on the California and National Register.
Bonde House	Fang Yuan Development Corp.	11760 Dublin Blvd.	Significant at the local level, not eligible for listing on the California and National Register.

6.1.2 California State Department of Parks and Recreation Form 523 (Primary and Building/Structure/Object Record)

Page & Turnbull, Inc. prepared individual resource documentation forms for all of the properties in the Dublin Village Specific Plan area in order to assess their potential significance as a historical resource. The individual forms for all properties listed on the Dublin HRI, typically referred to as a "DPR Form 523", are in the survey format of the State Department of Parks and Recreation, and are included in Appendix C of this document. Only those DPR Form 523s for properties on Dublin's Historic Resources Inventory are part of Appendix C. Each DPR Form 523 describes the physical characteristics of the site and/or building as well as its historical significance, and the DPR Form 523 functions as the official survey of the historic property.

The DPR Form 523s of other (non-historic) buildings within the Specific Plan area are included in Page & Turnbull's *Historic Resources Identification Project (Final)*, which can be obtained from the Dublin Community Development Department upon request.

6.1.3 State and Federal resource recognition

In addition to recognition on the local Historic Resources Inventory, several of Dublin's historic resources have also garnered acknowledgement at the state and federal level.

State Recognition

According to Page & Turnbull, several historic records turned up during a historic records search at the Northwest Information Center (NWIC) at Sonoma State University. The Specific Plan area contains one recorded historic-era site (CA-ALA-521H), which includes St. Raymond's Church, Pioneer Cemetery, Donlon Way (the original stagecoach route), Murray School, the Green Store, and the remains of the Murray-Green homestead (whose site has since been redeveloped). The NWIC database also listed three State Points of Historical Interest: St. Raymond's Church (SPHI-ALA-001), Murray School (SPHI-ALA-029), and the Green Store (SPHI-

ALA-032). California Points of Historical Interest are sites, buildings, features, or events that are of local significance and have historical value. The effects of designation by the State as a Point of Historical Interest are as follows:

- Environmental review is required under the California Environmental Quality Act (CEQA) if the property is due to be impacted by a development project;
- The County Assessor may enter into a contract with the property owner for a property tax reduction (Mills Act);
- The local Building Official must grant code alternatives provide under the State Historic Building Code; and
- The Point of Historical Interest designation is recorded on the property deed.

Federal Recognition

The National Register of Historic Places is the nation's official list of buildings, structures, objects, and sites worthy of preservation because of their significance in American history, architecture, archeology, engineering, and/or culture. Authorized under the National Historic Preservation Act of 1966, the National Register is part of a program to coordinate and support public and private efforts to identify, evaluate, and protect historic and archeological resources.

In 2005, Heritage Center Director Elizabeth Isles submitted a National Register of Historic Places Registration Application Form to the United States Department of the Interior and the California State Historic Preservation Office. The application was approved, and this brought official historic district designation to St. Raymond's Church and Pioneer Cemetery.

The effects of designation on the National Register of Historic Places are as follows:

- Tax incentives are available (in some cases) for the rehabilitation of depreciable structures;
- A tax deduction is available for the donation of preservation easements;

- Consideration may be granted for federal funding under Section 106 of the National Historic Preservation Act;
- Environmental review is required under the California Environmental Quality Act (CEQA) if the property is due to be impacted by a development project;
- The property receives automatic listing in the California Register of Historical Resources
- The County Assessor may enter into a contract with the property owner for a property tax reduction (Mills Act);
- The local Building Official must grant code alternatives provide under the State Historic Building Code; and
- The National Register designation is recorded on the property deed.

Other historic resources in the Dublin Village Specific Plan area which merit state or federal listing as individual resources, including the Green Store and Alamilla Springs, were not included as a part of Dublin's National Register application since they are not physically contiguous to the Heritage Center. However, one of the implementation measures of this Specific Plan is to pursue individual formal historic resource designations for these two resources with the property owner's cooperation.

6.1.4 Recommendations for the preservation and treatment of historic resources

Section 7.4 of the Specific Plan contains guidelines for the preservation and enhancement of historic resources in the Dublin Village Specific Plan area. The guidelines are based on key sections of the Secretary of the Interior's Standards for the Treatment of Historic Resources, and are intended to ensure that if a property on the Historic Resources Inventory is proposed to be modified in any way, that it is done so with the utmost care for its historical integrity.

Chapter 8.62 of the Dublin Zoning Ordinance (Historic Overlay Zoning District), will ensure that the design guidelines in this Specific Plan are followed to preserve the community's historical resources.

SECTION 6.2: CULTURAL AND ARCHEOLOGICAL RESOURCE PRESERVATION

6.2.1 Cultural and Archeological Resource Inventory

In 2003, the City contracted with archeological firm William Self Associates, Inc. to identify and map archeological resources in the Dublin Village Specific Plan area and to make recommendations for the continued preservation of those resources.

The *Archeological Assessment Report for the Donlon Way Area Specific Plan* was completed in August 2003, and it summarized the type of and state of the archeological resources in the Specific Plan area. Pursuant to a records search through the Northwest Information Center (NWIC), there were found to be eight archeological sites within a quarter mile radius of the Specific Plan area, although no previously recorded prehistoric sites were known within the area boundaries.

In addition to the records search, William Self Associates also conducted a pedestrian survey of the Specific Plan area, where the archeologist walks around the entire project area to look at things at the ground level. The pedestrian survey resulted in the identification of one previously unrecorded historic resource in the Specific Plan boundary. The exact details of the discovery are kept confidential in order to ensure that the resource is not disturbed. The pedestrian survey was also successful in identifying Archeological High Probability areas within the Specific Plan boundaries. Based on the existence of the archeological resources within, and adjacent to, the Specific Plan area, the City's consultants, as well as the NWIC, believe that there is a moderate to high probability of identifying Native American archeological resources and a high probability of encountering historic-period archeological resources within the area.

6.2.2 Native American Heritage Commission Consultation

The Native American Heritage Commission (NAHC) was consulted at two different points during the Specific Plan study process. Once by Page & Turnbull in 2003 during their research for the *Historic Resources Identification Project*, and once by the City in 2006 during the writing of this

Specific Plan. The NAHC was consulted to obtain a list of interested local Native American representatives and was also contacted to provide information on sacred lands within the Specific Plan area. The NAHC responded to Page & Turnbull's request in 2003 and stated that "a search of the sacred lands file has failed to indicate the presence of Native American cultural resources in the immediate project area."

In addition to the search conducted in the NAHC database, the local tribal representatives were also contacted in both 2003 and 2006, but no response was received. At this point, there is nothing that affirms the presence of Native American resources within the Specific Plan area.

SECTION 6.3: CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

CEQA and the CEQA Guidelines contain provisions relative to the preservation of historic, prehistoric cultural, and archeological sites. Section 15126.4 of the CEQA Guidelines directs public agencies to avoid damaging effects on an archeological resource whenever possible. At the time of any proposal that could impact a historic or archeological resource, Section 15064.5 (Determining the Significance of Impacts on Historical and Unique Archeological resources) of the CEQA Guidelines shall be consulted and all requirements of this section shall be met in the course of reviewing and implementing the project.

SECTION 7

DESIGN GUIDELINES

Section 7 of the Specific Plan was originally created as a stand-alone document called the *Dublin Village Design Guidelines*, which was adopted by the City Council in January 2005. Since this Specific Plan has been completed, the Design Guidelines are incorporated into this document for ease of use.

SECTION 7.1: PURPOSE AND INTENT OF THE DESIGN GUIDELINES

Dublin Village has a unique heritage as a historic crossroads. Unfortunately, much of the area's history and heritage has been compromised by the loss of historic resources and the construction of contemporary commercial, office, and residential development in its place.

For that which remains, the way in which properties within Dublin Village are rehabilitated or developed in the future will greatly influence its overall image. The purpose of this section is to provide design guidelines to ensure that future development is properly designed to achieve a desired character and image. Property owners, architects, landscape architects, engineers, project planners and designers are strongly encouraged to review the applicable guidelines to gain an understanding of the City's desired image and character for the area. City Staff, the Heritage and Cultural Arts Commission, the Planning Commission, and the City Council will use these guidelines to judge the merits of all development proposals in the project area.

During their review of proposed development projects, City Staff, the Planning Commission, and the City Council may use discretion in applying various provisions in the design guidelines to specific projects. It is not anticipated that each guideline will apply equally to every project. In some cases, one or more of the guidelines may be relaxed to facilitate

compliance with a more important or appropriate guideline for that project. When implementing the guidelines, the overall objective is to ensure that the intent and spirit of the design guidelines are followed and that the project respects its surroundings and honors the heritage and desired character of the area.

The Design Guidelines are presented in four sections:

Section 7.2 presents design guidelines for all commercial, retail, and office development projects.

Section 7.3 presents design guidelines for residential projects.

Section 7.4 presents design guidelines for the rehabilitation, restoration, and preservation of resources within Dublin Village that are listed on the Dublin Historic Resources Inventory

Section 7.5 presents design guidelines for streetscape improvements and future public spaces.

Depending on the type of development, project proponents should review all of the sections that apply to their project. Note that more than one section might apply to the proposed project. For example, a proposed commercial addition to a building or site on the Historic Resources Inventory would require project proponents to consult the Commercial and Mixed-Use Guidelines (Section 7.2) as well as the Historic Resource Guidelines (Section 7.4). A residential project that requires streetscape improvements would require project proponents to consult the Residential Guidelines (Section 7.3) as well as the Streetscape Guidelines (Section 7.5). Project proponents should consult with the City of Dublin Planning Staff to determine which sections of the Design Guidelines apply to their project.

SECTION 7.2

COMMERCIAL DESIGN GUIDELINES



Historic commercial architecture on Dublin Boulevard

This section provides design guidelines for future development proposals within Dublin Village on properties with a commercial land use designation. This section also applies to existing commercial buildings that are being remodeled or renovated. Commercial development proposals may include professional offices, service-oriented businesses, retail businesses, restaurants and cafes, and related commercial uses. Mixed-use proposals would integrate multiple uses within a single building.

Adherence to the guidelines in this section will help facilitate the future vision for the area by accomplishing the following overall objectives:

- Encourage commercial and mixed-use architecture to emulate the desired historic character and image of Dublin Village.
- Improve the relationship between buildings and the public realm through appropriate site planning.
- Regulate the design and placement of signs to reduce sign clutter on buildings and along streets.
- Provide adequate landscaping and lighting to reinforce the desired image and character of the area.

7.2.1 Architectural Guidelines

7.2.1a Architectural Style and Character

The intent of these guidelines is not to require a certain architectural style within Dublin Village. Rather, the intent is to encourage commercial architecture to emulate the vernacular architecture that once existed in Dublin Village. The term “vernacular” is a loosely defined term, and in the United States, it often is used to describe a number of different styles of architecture. Generally, vernacular buildings were constructed with relatively small budgets and with local materials and building techniques. Vernacular buildings were sometimes based on popular styles of the time, but were much simpler in form, detail, and function. For these reasons, the vernacular style within one region can look substantially different than the vernacular style of another region. The vernacular architecture of Dublin Village is characterized by:

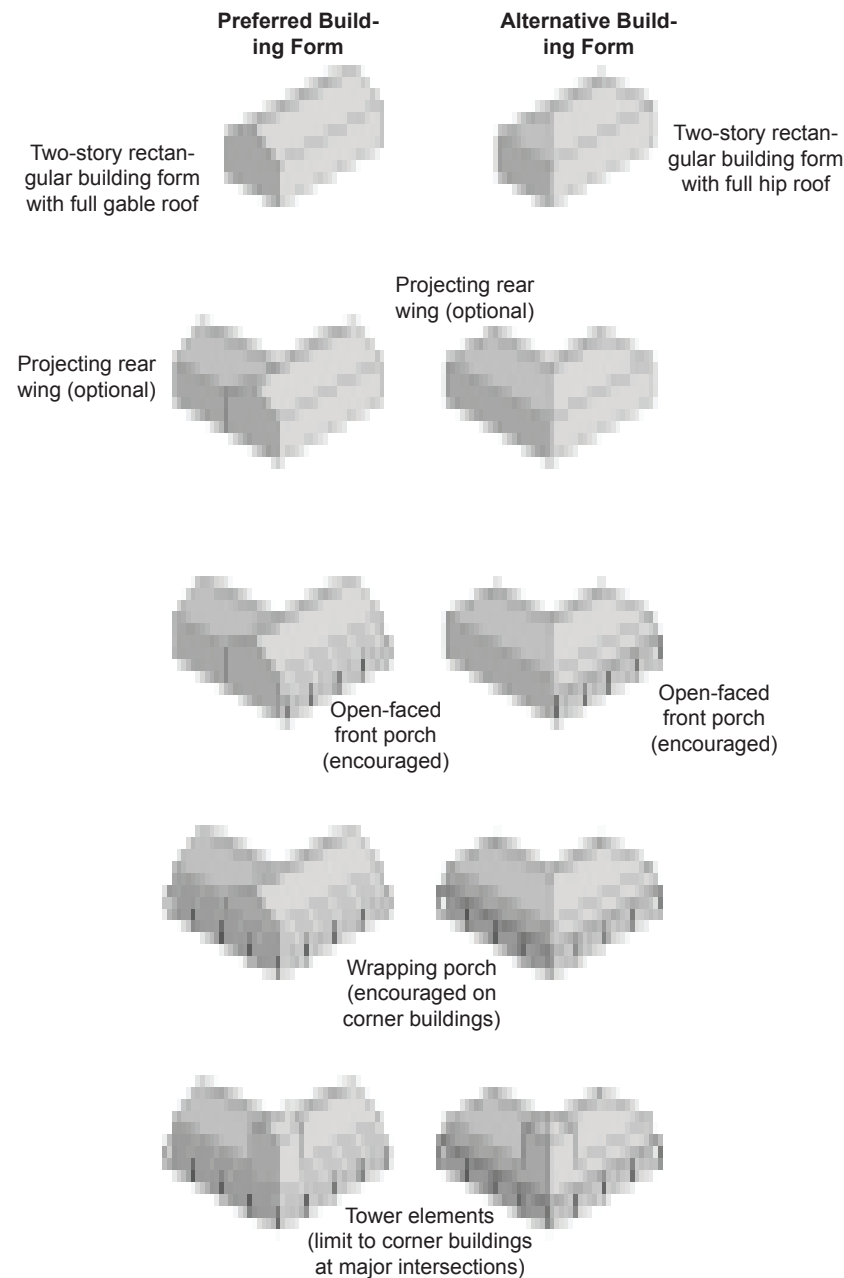
- A basic rectangular shaped building mass with a gable roof
- An open-faced porch that extends the length of the front façade
- A porch overhang (either a shed roof or second story balcony) supported by simple round or square columns
- Clapboard wood siding
- Vertically-oriented and rectangular-shaped windows
- Minor elements of Greek revival, Carpenter Gothic, and Stick Victorian architecture
- Basic and simple building details

7.2.1b Mass and Scale

Buildings within Dublin Village should have a relatively basic and simple building mass with a pedestrian-oriented scale. Large, bulky,



Examples of vernacular architecture in Dublin Village



expansive, and long profile buildings should be avoided.

7.2.1c Building Form

The main body of the building should have a basic two-story rectangular form with a full gable roof. The use of hip roofs and/or dormers are also encouraged. A one or two story-projecting wing with a compatible roof form may also extend from the rear or side of the main body. Special building forms, such as a tower element, may be appropriate, but should be limited to corner buildings at major intersections. Long, one-story buildings with low profiles should be avoided. Flat roofs, parapet roofs, and mansard roofs are discouraged.

7.2.1d Porches

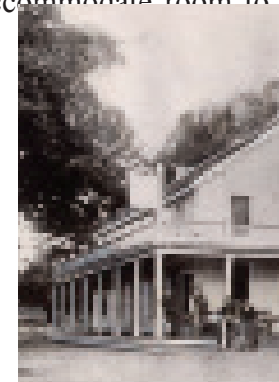
An open-faced porch that extends the entire length of the front façade is highly encouraged. The porch should be covered by either a shed roof or a second story balcony. For buildings on corner lots, a wrapping porch that extends along both street-facing façades of the building is encouraged. Porches are also encouraged along building façades that face public spaces, such as gardens, courtyards or plazas.

7.2.1e Porch Design

The porch floor should be constructed with wood planks and should be at least five feet in width to accommodate room to walk and



Porch with shed roof



Porch with second story balcony

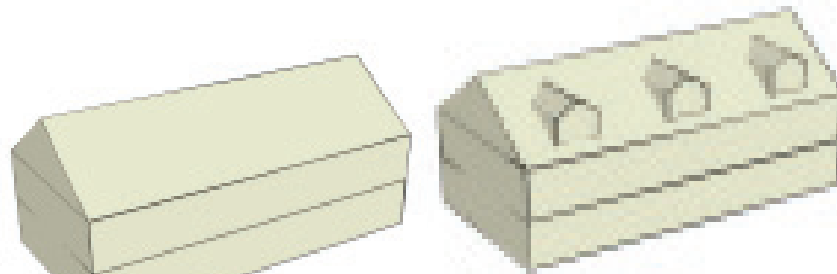
space for outdoor seating. If a disabled-access ramp is provided, the porch may be slightly elevated (no more than 18 inches) above the sidewalk. Regularly spaced wooden columns or posts should be used to support the porch cover, either a shed roof or second story balcony. Columns and posts should have a basic and simple design with limited details and ornamentation. If railing is used on the porch or second-story balcony, it should also have a basic and simple design that is compatible with the columns and posts of the porch.

7.2.1f Building Height

Two story buildings are encouraged. A third story may be appropriate if dormers are used to minimize the apparent scale and height of the structure.

7.2.1g Roof Pitch

Flat and extremely steep roofs are discouraged. Roof pitches should generally have a rise to run ratio ranging from 3:8 to 5:8. Porch roofs may have a pitch that is more flat than main roof of the building



Dormers can be added to create a third story without substantially increasing the building height



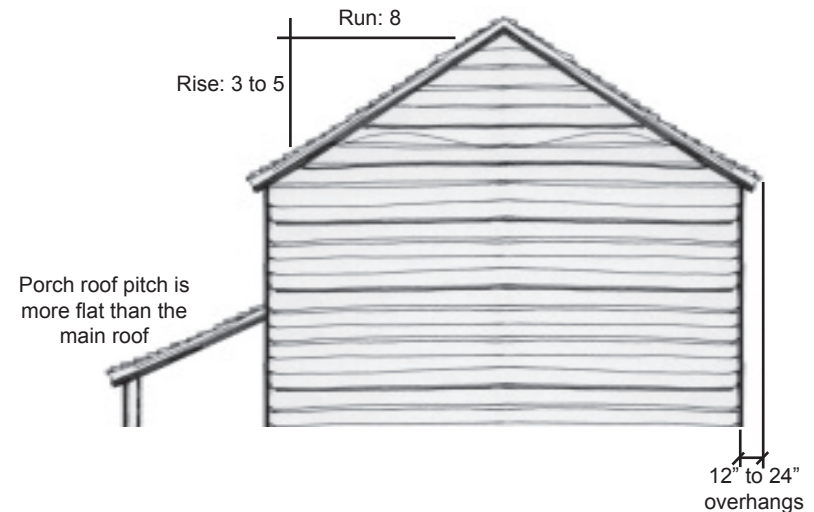
Examples of well designed porches and second story balconies with simple and basic details

7.2.1h Roof Overhangs

Roof overhangs of approximately 12 to 24 inches are encouraged.

7.2.1i Building Materials

Wood-framed construction, horizontal wood siding (clapboard or drop siding), and wood or composition roof shingles should be the main building materials used in Dublin Village. Other building





Horizontal wood siding is the preferred exterior building material and wood or composition shingles are the preferred roofing material

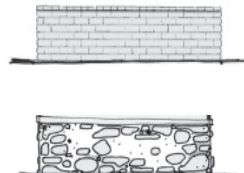
Other appropriate materials include:



Vertical wood siding



Wood shingle siding



Stone and brick (limited to building bases or column bases)



materials that may be appropriate include:

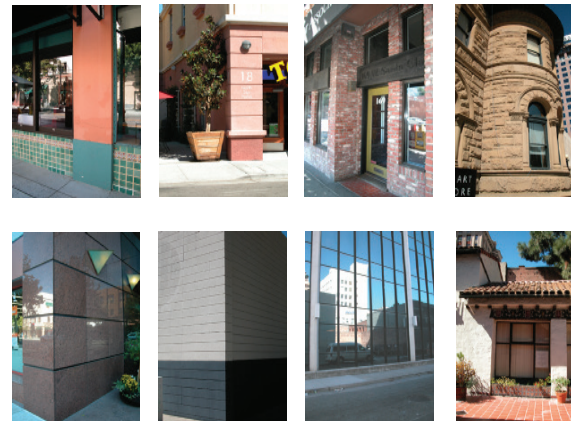
- Vertical wood siding
- Wood shingle siding
- Brick or stone used as a building base or column base

Steel, glass block, metal siding, adobe, tile roofs, stucco, concrete, concrete block, tile, the heavy use of brick and stone, and modern building materials should be avoided.

7.2.1j *Building Colors*

Buildings should be painted with simple and basic color applications that were commonly used on vernacular buildings in the 1800s and early 1900s. In general, white or off-white is the preferred color for

Examples of materials to avoid:



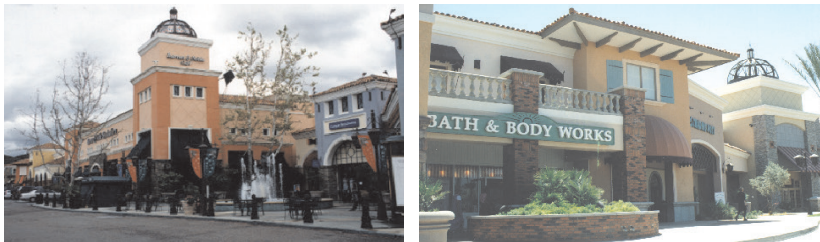
the façade. However, a soft, natural, or muted color may be used to provide variety within the district. In general, large buildings should be painted with subtle color applications while more noticeable color applications may be appropriate for smaller buildings. One or two complementary accent colors should be used for building trim, molding, window and door frames, and roof eaves. Bright, vibrant, and fluorescent colors should be avoided.

7.2.1k Window Fenestration

Windows should have a basic rectangular shape and should have a vertical proportion and orientation. On the ground floor, two to three windows should be placed together to create a larger opening



Examples of simple and basic color applications that should be encouraged

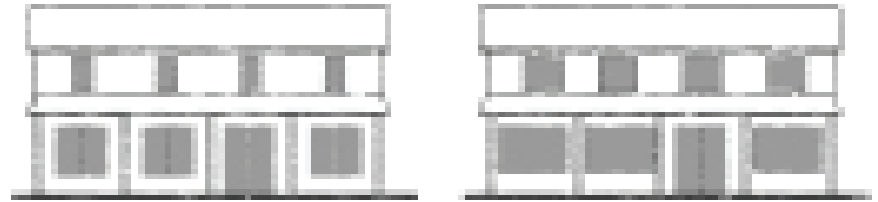


Examples of bright and vibrant color application that should be discouraged

for storefronts.

7.2.1l Window Design

Basic and simple wood framed windows with multiple panes are encouraged. Double hung, casement and fixed windows should be used.

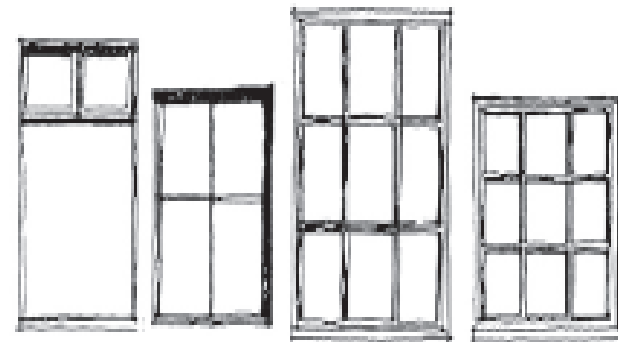


Encourage windows that have a vertical proportion and orientation

Avoid windows that have a horizontal proportion and orientation

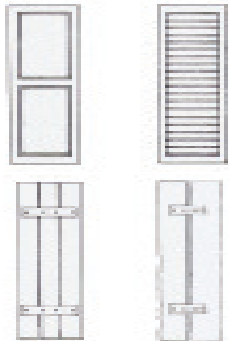
7.2.1m Window and Door Shutters

If used, window and door shutters should have a width that would enclose the entire window and door opening when the shutters are closed. Panelized wood, louvered wood, or plank wood shutters are encouraged.

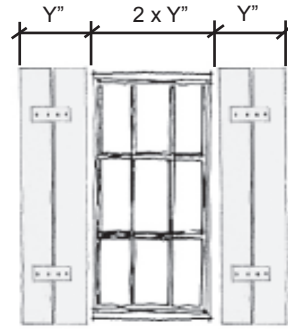




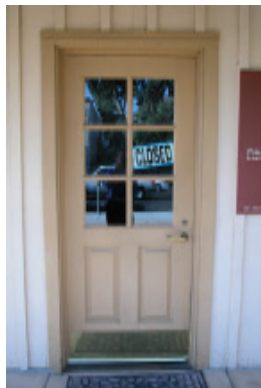
Examples of appropriate windows



Examples of appropriate shutters



Shutters should enclose the entire window or door when closed



Examples of appropriate doors

7.2.1n Doors

Raised panelized wood doors with window openings are encouraged. Window openings on doors should contain multiple panes and should be compatible with the design of the windows on the building. Double doors may also be used for entrances to the building.

7.2.1o Building Details and Ornamentation

Building details should be basic and simple. Elaborate and intricate details and ornaments would create a phony historic image and character that does not reflect Dublin's true history and heritage and should therefore be avoided. All details should be compatible with character and style of the building.

7.2.1p Stairways

Stairways should be compatible with the design of the building and should not look like they were tacked on or added as an after thought. The use of off-the shelf and ready-made stairs, railings, balustrades should be avoided. If used, exterior stairways to the second floor of the building should generally be located to the rear or side of the building.

7.2.1q Mixed-Use Buildings

Active and pedestrian friendly uses, such as retail shops, restaurants, cafes, and beauty shops should be located on the ground floor of mixed-use buildings. Professional offices would ideally be located on upper floors and residential units (if appropriate) should be reserved

to upper floors. Upper floor businesses should have private and secured entrances.

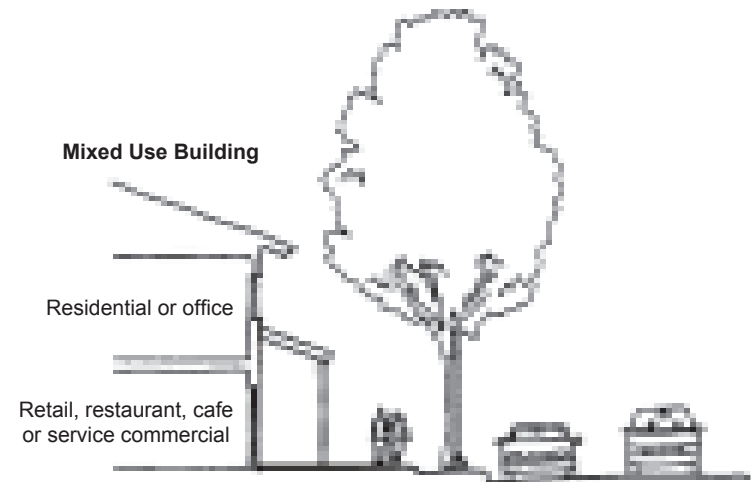
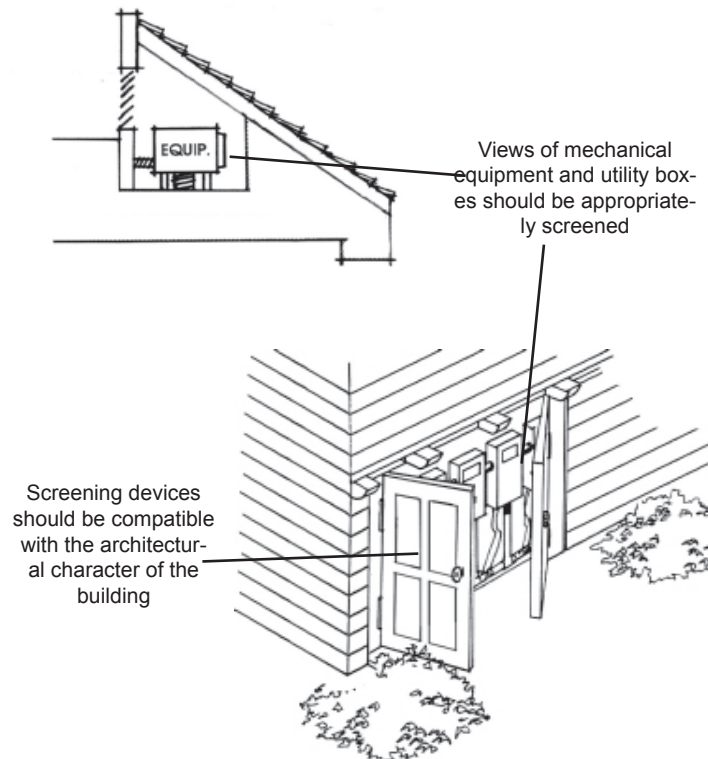
7.2.1r *Mechanical Equipment*

Mechanical equipment, including heating ventilation and air conditioning (HVAC) units and water and electrical meters, should be screened from public view.

7.2.1s *Accessory Structures*

Accessory structures, such as trash enclosures and storage buildings, should be architecturally compatible with the main building and should use similar forms, materials, and color applications.

7.2.1t *Gutters and Downspouts*



Example of appropriately screened mechanical equipment



Trash enclosures and other accessory structures should be architecturally compatible with the other buildings on the site

Gutters and downspouts should relate to the style and lines of the building. They should be painted to match either the trim or body color of the structure. Downspouts should be located in the least conspicuous locations, such as the rear or sides façade of the building.

7.2.1u Flashing and Vents

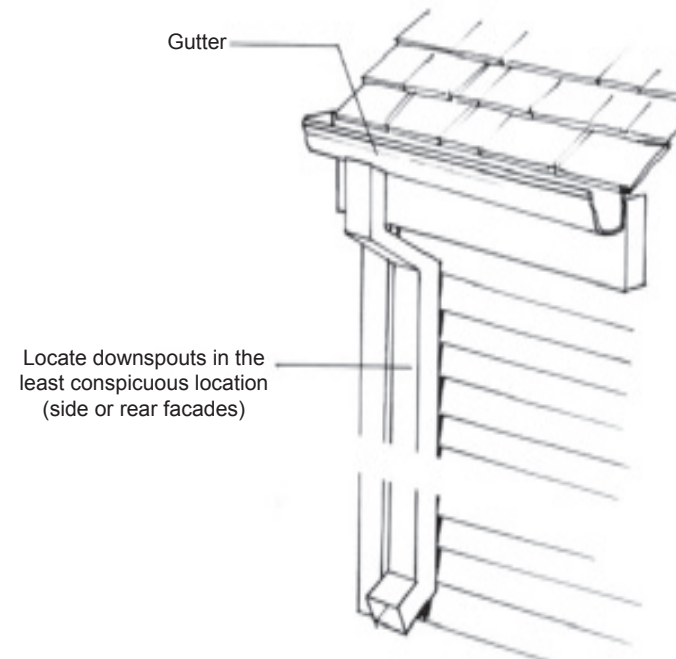
Vent pipes, flashing, and stacks that protrude through the roof should be painted to match the color of the roof.

7.2.2 Site Planning

7.2.2a Building Placement

Buildings should have a strong relationship with the street and sidewalk. To maximize this relationship, buildings should:

- Be sited adjacent to or close to the sidewalk and street;



- Have main entry facades that face the sidewalk and street; and,
- Be oriented parallel to the street.

7.2.2b Outdoor Spaces

Development projects should include small and intimate outdoor spaces, such as outdoor dining spaces, porches or patios, courtyards, gardens, or plazas. Buildings should be intentionally sited and designed to define these spaces.

7.2.2c Parking Lot Locations

Parking lots should be located behind buildings wherever possible. Views of parking lots from streets, sidewalks, and public spaces should be screened by buildings, landscaping, and/or wood fences to minimize the visual impacts of automobiles and expansive surface parking lots.

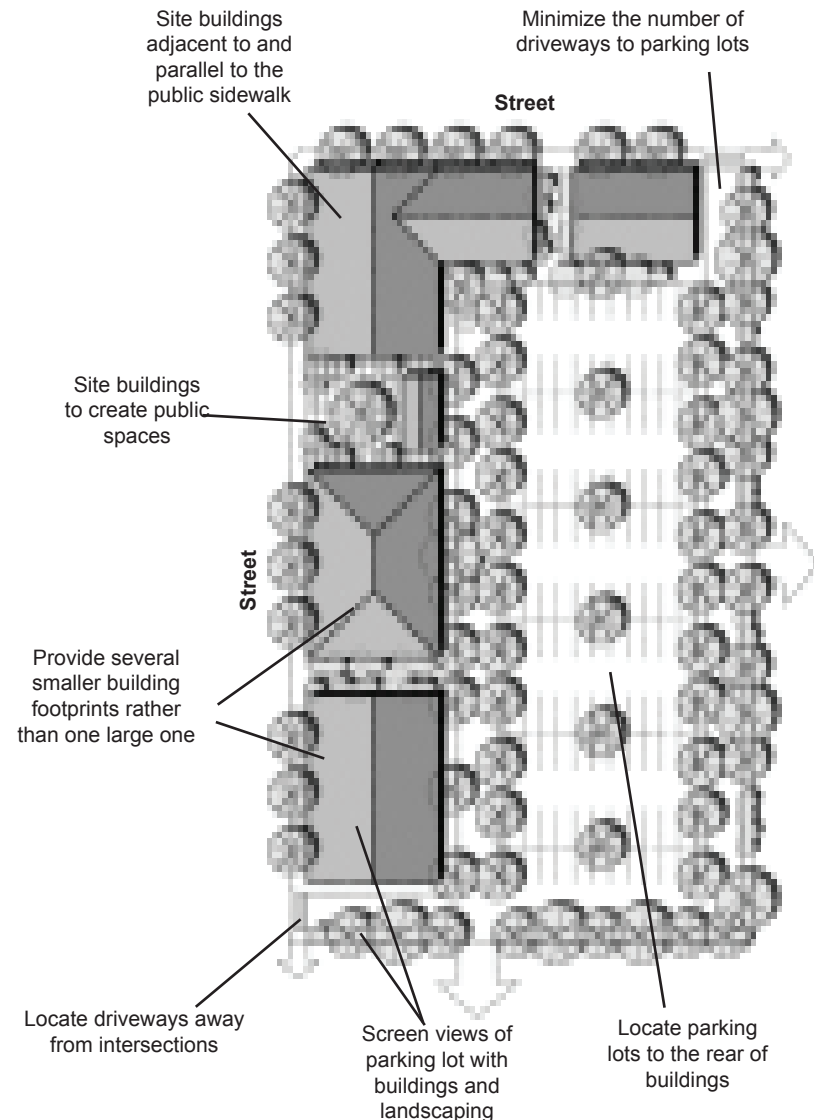
7.2.2d Building Footprints

Within large development projects, the total square footage of the project should be divided into several relatively small-scale buildings rather than one large building that dominates the site.

7.2.2e Driveway Locations

Driveways to parking lots should be located as far away as possible from street intersections to minimize congestion and potential interference with the flow of street traffic.

7.2.2f Parking Lot Driveways



The number of driveways should be minimized to reduce the potential for conflicts between pedestrians walking along the sidewalk and automobiles entering and exiting the parking lot.

7.2.2g Shared Driveways

In order to minimize curb cuts, adjacent property owners and businesses are strongly encouraged to share driveway access to parking lots.

7.2.2h Shared Parking

Shared parking lots should be used to serve multiple buildings or uses on the same property. For mixed-use projects, private parking lots or restricted parking spaces may be provided for residential units.

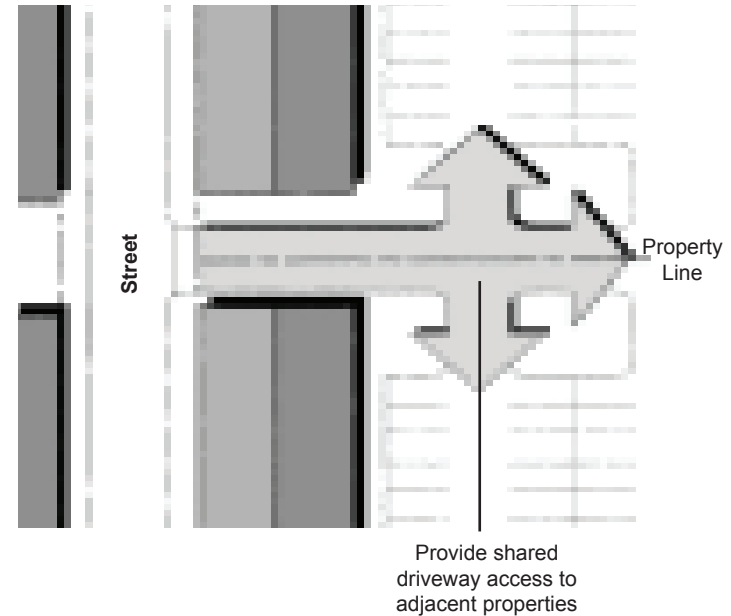
7.2.2i Pedestrian Circulation

Safe and convenient pedestrian paths should be provided between building entrances, public sidewalks, on-site parking lots, and public spaces.

7.2.2j Loading Facilities

If required, loading facilities should be located to the rear or side of buildings and screened from public view by appropriate building orientation, landscaping and fencing. Loading facilities should be located to minimize circulation conflicts.

7.2.2k Trash Disposal Areas



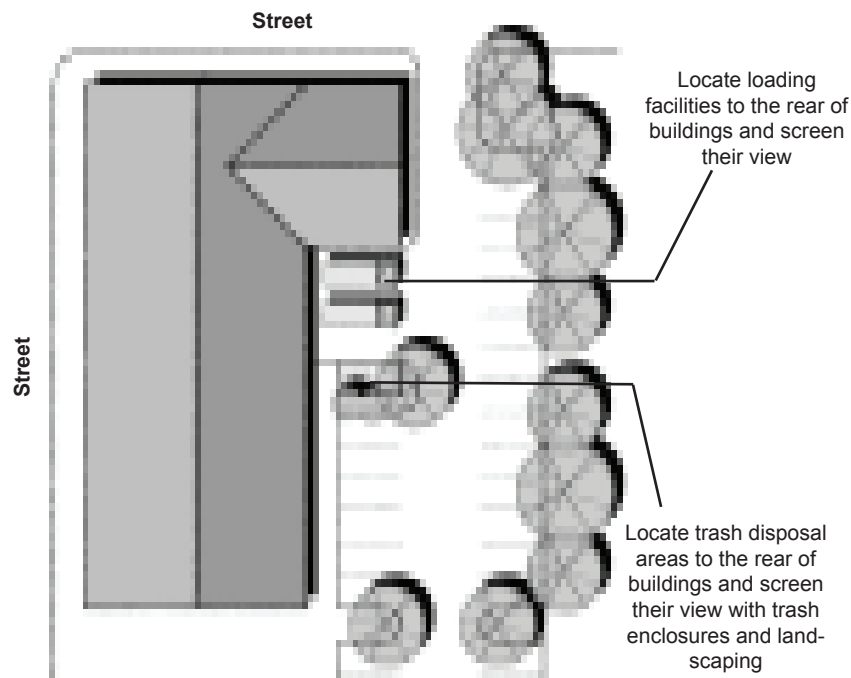
Example of safe and convenient pedestrian path between parking lot and public sidewalk

To the extent feasible, trash disposal areas should be located to the rear or side of buildings and should be screened from public view by trash enclosures and landscaping.

7.2.2l Land Use Buffers

A combination of plant material, trees, and fencing screens may be necessary to screen views of non-compatible uses on adjacent properties. When required, landscaped buffers and setbacks should protect the privacy of adjacent residential uses.

7.2.2m Heritage Trees and Resources



To the extent feasible, development projects should be designed to preserve heritage trees and other heritage resources, such as the Alamilla Springs. Courtyards, plazas, gardens, landscaped areas, and other outdoor public spaces are encouraged near heritage trees and heritage resources.

7.2.3 Sign Guidelines

7.2.3a Sign Considerations

A master sign program should be developed and approved for each new or remodeled building within Dublin Village. The sign program should be developed based on the following guidelines:

- Consistent sign placement and design should be coordinated



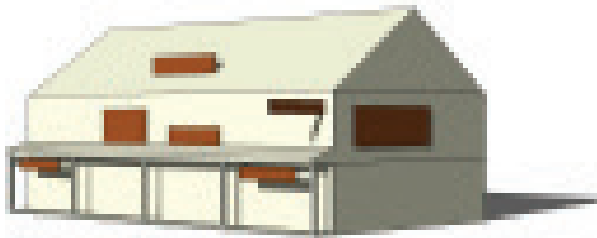
Preserve heritage trees and incorporate them into the design of courtyards, plazas, and other outdoor spaces



Preserve and enhance the Alamilla Springs as an important heritage resource



Provide consistency with the placement and design of signs



Inconsistencies in the placement and design of signs should be avoided



Avoid signs that dominate and clutter the facades of buildings



Avoid signs that clutter the streetscape and development sites



with the overall design of the building façade.

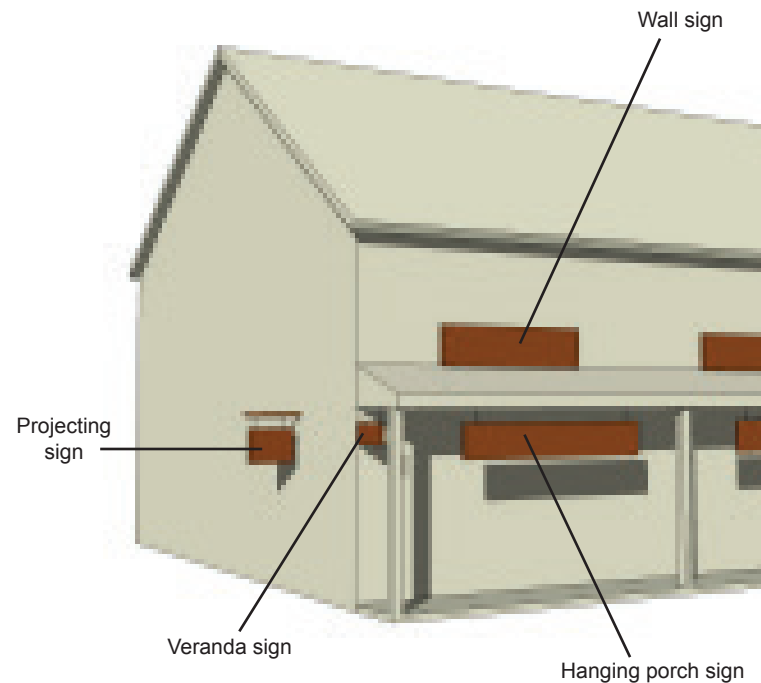
- Signage should be limited to facades that have public entrances to the building or public entrances to individual storefronts and businesses.
- Signs should be subordinate to the overall building composition and should never dominate the façade of the building.
- Signs should not cover or obscure windows, entrances, and architectural elements or details.
- Commercial signs should not dominate or clutter the view of the streetscape.

7.2.3b *Appropriate Signage*

The following types of commercial business signs are appropriate for Dublin Village and should be encouraged:

- **Wall Sign:** A horizontally oriented sign that is attached flat against the building façade and is oriented to pedestrians and vehicles.

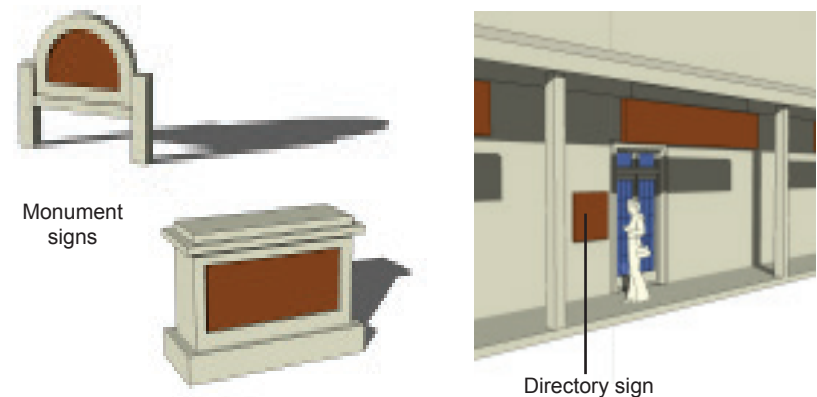
- **Projecting Sign:** A double-sided sign that projects perpendicular to the building façade and hangs from a mounted wall brace. Projecting signs are oriented towards pedestrians.
- **Veranda Sign:** A double-sided sign that hangs within the veranda of the porch and is perpendicular to the building façade. Veranda signs are oriented towards pedestrians.
- **Hanging Porch Sign:** A one-sided horizontally oriented rectangular sign that hangs from a porch overhang and is parallel to the building façade. Hanging signs are oriented towards vehicles and pedestrians.
- **Directory Sign:** A vertically oriented rectangular sign that is attached flat against the building façade and serves as a directory for upper floor businesses and uses. Directory signs are oriented towards pedestrians.
- **Monument Signs:** A freestanding sign that is located near the sidewalk because the primary structure or business is setback from the street. Monument signs are oriented towards pedestrians and automobiles.



7.2.3c *Inappropriate Signs*

The following signs are not appropriate for Dublin Village and should be avoided:

- Roof signs (signs that are mounted on or above the building roof)
- Pole mounted or lollipop signs



Examples of inappropriate signs:



Pole mounted or lollipop sign



Neon sign with flashing lights



Pole mounted sign with changeable letter marquee



Freestanding sign



Billboards



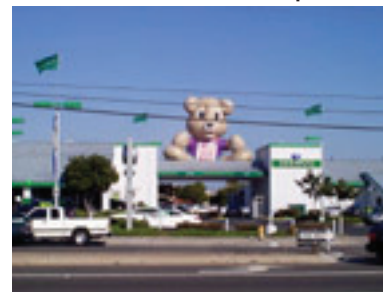
Roof mounted sign

- Billboards
- Inflatable signs
- Signs with flashing or moving lights
- Electronic readerboard signs
- Signs that produce smoke or sound
- Signs with animated or moving features
- Signs with windblown features
- Painted window advertisements
- Signs that advertise products or the price of products sold within the business
- Permanent advertising signs
- Changeable letter marquees (except for gas station signs for gas prices)

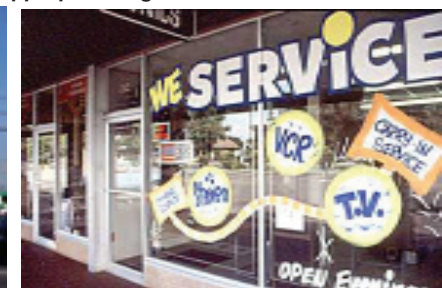
7.2.3d Guidelines for Wall Signs

Several locations may be appropriate for wall signs, including the space above the building or storefront entrance, the space between the porch overhang and second story windows, or the space between windows and the roof fascia. When multiple wall signs are used on a building, their placement should generally be consistent throughout the façade. The height of the sign should not exceed two feet and

Examples of inappropriate signs:



Inflatable sign



Painted window advertisements

six inches, the maximum length should be 24 feet, and the maximum size is 60 square feet. The sign may extend out from the building facade by a maximum of 12 inches.

7.2.3e Guidelines for Projecting Signs

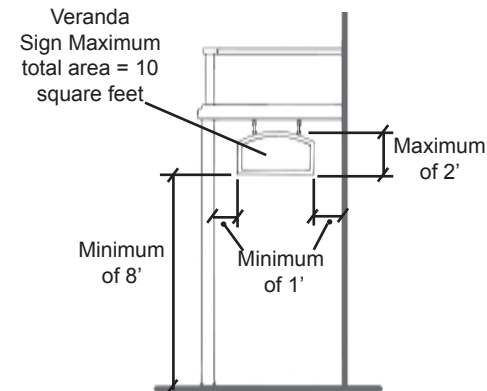
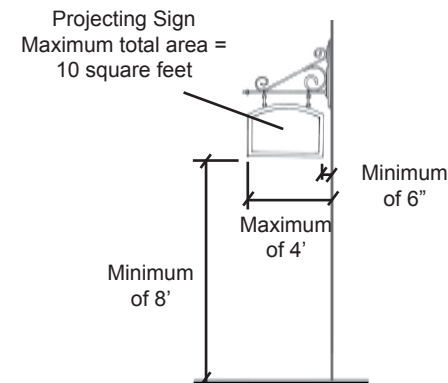
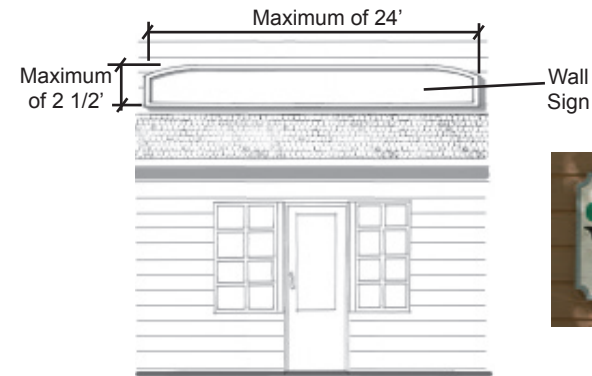
Projecting signs should generally be mounted on the wall near the business entrance. They may also be mounted to a porch column or post and project over the sidewalk. The sign should not project more than four feet from the building façade (or the porch column or post). At least six inches of free space should be provided between the sign and the building façade (or the column or post). Eight feet of vertical clearance should be provided between the floor of the sidewalk and the bottom of the projecting sign. The total area of the sign should not exceed 10 square feet.

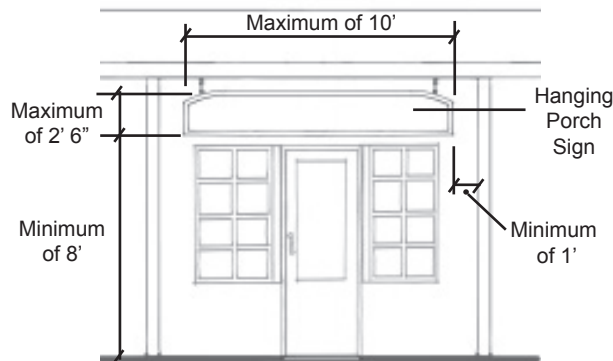
7.2.3f Guidelines for Veranda Signs

Veranda signs should generally hang from the porch overhang near the business entrance. Eight feet of vertical clearance should be provided between floor of the porch and the bottom of the projecting sign. At least one foot of free space should be provided between the sign and the building façade and the sign and the porch column or post. The total height of the sign should not exceed eighteen inches. The total area of the sign should not exceed 10 square feet.

7.2.3g Guidelines for Hanging Signs

Hanging signs should be centered between the columns or posts of the porch overhang. At least one foot of free space should be provided between the sign and porch columns or posts. Eight feet of vertical clearance should be provided between the floor of the porch and the bottom of the hanging sign. The maximum length of the sign should not exceed 10 feet, the maximum height of the sign should not exceed

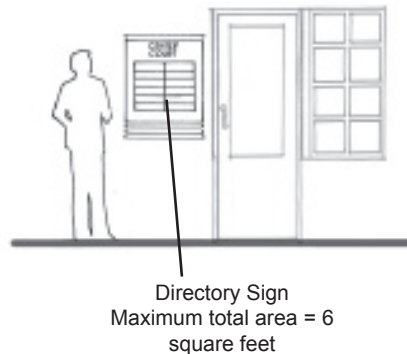




two feet and six inches, and the maximum sign size is 25 square feet.

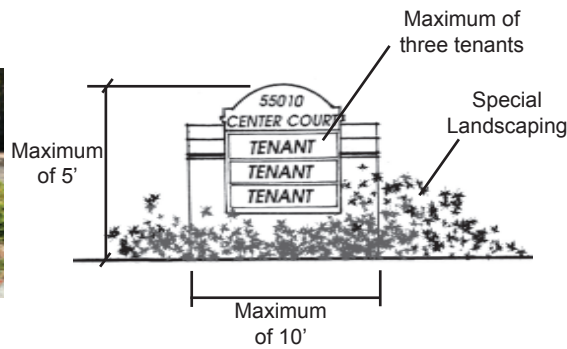
7.2.3h Guidelines for Directory Signs

Directory signs should be placed at eye level on the exterior façade of the building near the ground floor entrance to the upper floor uses. The address of the building and the names and suite numbers of the businesses on all floors should be included on the directory. Directory signs should have a basic rectangle shape and vertical orientation. The total area of the sign should not exceed 6 square feet.



7.2.3i Guidelines for Monument Signs

The use of monument signs should be limited to buildings with multiple tenants or large shopping centers or office complexes. The name of the development (such as Dublin Village Shopping Center) and the main tenants (such as Village Grocery Store) should be included on the Monument Signs. A maximum of three tenant signs should be included on the sign to reduce clutter. The maximum height of monument signs should be limited to five feet. The maximum length should be 10 feet. Monuments signs should be aligned perpendicular to the street and should be placed near driveway entrances. All monument signs should be highlighted with special landscaping treatments and should not exceed 50 square feet.



7.2.3j Sign Area

The total area of all wall signs and hanging porch signs on a building façade should not exceed a ratio of one square foot of sign area per one linear foot of façade length. For example, if a building façade is 100 feet long, the total area of all wall and hanging porch signs on the façade should not exceed 100 square feet.

7.2.3k Number of Signs

The number of signs on a building should generally be limited to reduce sign clutter.

7.2.3l Sign Design

Signs that show depth and cast shadows are encouraged. Depth and shadows can be created by mounting individually cut letters and symbols on the sign base or by carving the letters and symbols into the wood. Panelized frames around the sign edge are also encouraged.

7.2.3m Sign Materials

Sign materials should compliment the building façade. Wood and wrought iron are the preferred material for signs. Modern materials and highly reflective materials, such as plastic, fiberglass, steel, and aluminum should be avoided. Brick, stone, and wood are appropriate materials for monument signs.

7.2.3n Sign Colors

Sign colors should compliment the building façade. The color of letters and symbols should contrast the base or background color of the sign to maximize readability. In general, no more than three colors should be used within a sign. Basic and simple color applications are encouraged, and vibrant and fluorescent colors should be avoided.

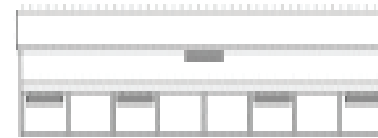
7.2.3o Sign Symbols

Signs that have symbols, characters, or graphics are encouraged. The symbol, character, or graphic should relate to the products sold in the business or to the name of the business.

7.2.3p Sign Typology

Simple and easy-to-read typefaces should be used on commercial signs. Hard-to-read and overly intricate typeface styles should be

Total sign area on a facade = one sq. ft. per one linear foot of facade length



Four 20 sq. ft. hanging porch signs and one 20 sq. ft. wall sign (100 sq. ft. of total sign area)



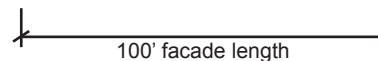
Five 20 sq. ft. wall signs (100 sq. ft. of total sign area)



Two 40 sq. ft. wall signs and one 20 sq. ft. wall sign (100 sq. ft. of total sign area)



Two 50 sq. ft. wall signs or (100 sq. ft. of total sign area)



Examples of appropriate signs



Encourage signs with symbols that relate to the business



Avoid complex and hard to read fonts



Use simple and easy to read fonts

avoided.

7.2.3q Sign Lighting

Signs within Dublin Village should be externally illuminated by simple lighting fixtures that are compatible with the design of the building. Light should be directed and shielded to illuminate the sign frame and not spill over to other parts of the building or site. Neon and internally illuminated box signs are discouraged.

7.2.4 Lighting Guidelines

7.2.4a Site Lighting

Adequate lighting should be provided throughout the site to create a safe and non-threatening environment. Parking lots, pedestrian walkways, signs, building entrances, service areas, and trash disposal area should be lighted for safety purposes. Lighting should be provided at regular intervals to prevent the creation of light and dark pockets. Dark pockets can create uncomfortable areas for pedestrians and provide opportunities for criminals to hide in dark



Simple lighting fixture that are compatible with the design of the building

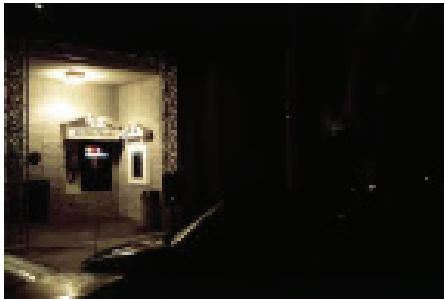
shadows. Overlighting the building and site should also be avoided. Over lighting can create a “prison-yard” look and can ruin desired nighttime ambience.

7.2.4b *Light Design*

Light posts and fixtures should reflect the historic character and image of the area. In general, a basic metal light post and fixture with simple details and limited ornaments should be used. Light posts should be appropriately scaled to pedestrians. Extremely tall and modern light posts and fixtures should be avoided.

7.2.4c *Glare*

All exterior lights should be designed and located so that only the



Avoid building and site lighting that creates dark pockets along the streetscape

intended area is illuminated and off-site glare is controlled.

7.2.5 **Landscaping Guidelines**

7.2.5a *Indigenous Drought-Tolerant Plant Material*

Commercial, office and mixed-use properties should be landscaped with indigenous and drought-tolerant plant materials. Landscaping

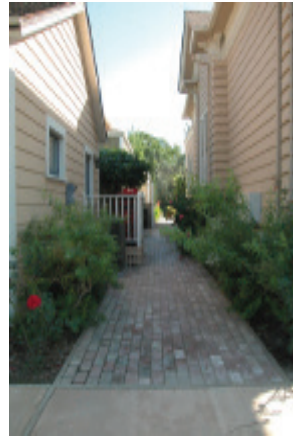
treatments should include a variety of trees, grasses, shrubs, and wildflowers. A list of recommended landscaping trees is provided in Appendix A.



Examples of appropriate lighting fixtures



Examples of appropriate light posts



Examples of appropriate landscaping treatments

7.2.5b Flowerpots and Planter Boxes

Flowerpots and planter boxes are encouraged to add color and variety to the landscape. Flowerpots and planter boxes are encouraged on building porches, second-story balconies, and below windows. Flowerpots that hang from porch overhangs and columns are also encouraged. Flowerpots and planter boxes should be compatible with the architecture of the building. In general, wood flowerpots and planter boxes with a simple and basic design should be used. Clay, stone, ceramic, and concrete flowerpots and planters should be avoided.

7.2.5c Walkways

Pedestrian walkways should be enhanced with attractive landscaping and trees to improve the pedestrian experience. Vine covered trellises over walkways are also encouraged. Pedestrian walkways should be designed with a permeable pavement, such as turf block, decomposed granite, or gravel. Brick, natural stone, or concrete unit pavers with permeable joint material (sand) may also be appropriate for certain areas.



Appropriate use of fencing and landscaping to screen public views of parking lots



Appropriate landscaping for parking lots

7.2.5d Fences and Screens

Fencing should be used to screen views of parking lots, trash disposal areas, service areas, and loading facilities. Basic and simple wooden fences are encouraged and chain-link, concrete block, stucco, brick, and stone fences or walls should be avoided. Fences that are used as a screening device should be four to six feet in height. The top two feet of the fence should be at least 50 percent opaque. Vines and shrubs should be planted in front of the fence to soften its appearance and to deter graffiti.



Example of an appropriately designed screening fence

7.2.5e Parking Lot Landscaping

The perimeter of parking lots should be landscaped with a variety of trees and low-lying shrubs and plant materials. The landscaping edge should be at least five feet wide. Trees should be regularly spaced to provide a canopy of shade for the parking lot. Planters with trees should be used within center parking aisles. In general, trees should be planted along the edge of the parking lot at a ratio of one tree for every three to four parking spaces. Within the interior of the site, one tree should be provided for every ten parking spaces.



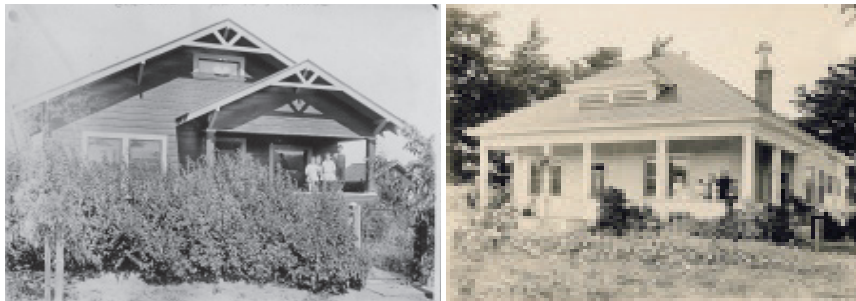
Examples of parking surfaces with porous pavement

7.2.5f Parking Lot Pavement

To the extent feasible, porous surfaces should be incorporated into the design of parking lots to reduce the volume and rate of stormwater runoff. A possible example would be a hybrid parking lot, which is designed with a combination of pervious and impervious surfaces. The driveway aisles are typically covered with asphalt, while the parking stalls are designed with a pervious surface, such as decomposed granite, gravel, or turf block. Another solution is the parking grove. Parking groves use a grid of trees and bollards to delineate parking stalls. Parking stalls and driving aisles are constructed of a permeable surface, such as gravel, decomposed granite, or turf blocks to reduce the amount of impervious surface, thereby reducing the rate and volume of stormwater runoff. Parking groves not only provide shade for cars, but also present an attractive open space when cars are absent. They can also be used for community events, such as festivals and farmers markets.

SECTION 7.3

RESIDENTIAL DESIGN GUIDELINES



Examples of historic residential homes in
Dublin

This chapter provides general design guidelines for future residential development proposals within Dublin Village on properties with residential land use designations. This chapter also applies to existing residential buildings that are being remodeled or renovated.

Adherence to the guidelines in this chapter will help facilitate the future vision for the area by accomplishing the following overall objectives:

- Encourage residential products that will honor the image and character of historic Dublin Village.
- Design residential buildings with traditional and functional forms, basic details, and simple ornamentation to honor and emulate the historic residential architecture of the area.
- Incorporate traditional neighborhood design principles into the planning and design of future residential development projects.
- Provide adequate landscaping and lighting to reinforce the desired image and character of the area.

7.3.1 Types of Residential Development

7.3.1a *Appropriate types of Residential Development*

New residential development in Dublin Village should honor the image and character of historic Dublin Village by emulating the characteristics of homes that once existed in the area. Residential development in historic Dublin Village generally consisted of single-family homes. Most homes were relatively small and modest, and few, such as Green's Mansion, were larger and more elaborate.

The types of residential development in Dublin Village should generally be limited to small to moderate-sized single-family homes and appropriately designed multiplex homes. Multiplex homes are multifamily apartments or condominiums that are designed to resemble a single family home. A multiplex home generally has two to eight units. Multi-plex homes that resemble single-family homes can be placed adjacent to single family lots without compromising the character and image of the street or the neighborhood.



Examples of modest single-family residential



Example of well-designed multiplex homes



Avoid large single-family homes



Avoid large apartment/condominium complexes



Avoid contemporary apartment/condominium complexes



Avoid contemporary townhomes

7.3.1b Inappropriate types of Residential Development

Extremely large single-family homes, mansions, contemporary apartment/condominium complexes and gated residential communities would not be compatible with the desired image and character of Dublin Village, and should generally be avoided.

7.3.2 Architectural Guidelines

7.3.2a Architectural Style and Character

Homes in historic Dublin Village were relatively modest and had traditional and functional forms, basic details, and simple ornamentation. New residential architecture should have a style and character that honors and emulates these characteristics. Specific residential styles that are appropriate include:

- Local Vernacular
- Folk Victorian
- Craftsman/California Bungalow

Local Vernacular

The term “vernacular” is a loosely defined term, and in the United States it often is used to describe a number of different styles of architecture. Generally, vernacular buildings were constructed with relatively small budgets and with local materials and building techniques. Vernacular buildings were sometimes based on popular styles of the time, but were much simpler in form, detail, and function. For these reasons, the vernacular style within one region can look substantially different than the vernacular style of another region. Vernacular homes in historic Dublin Village were generally defined by basic function, simple forms, and plain details. Most vernacular homes were basic wood-framed structures with gable roofs, open-faced front porches, clapboard siding, and simple details and ornamentation.

Folk Victorian



Examples of Vernacular homes



Examples of Folk Victorian homes

The classic Victorian styles (Gothic Revival, Italianate, Second Empire, Stick Style, Romanesque Revival, and Shingle Style) were generally designed by professional architects, and were built mostly by the wealthy. However, the lower reaches of the middle class certainly shared the same urge to have a fashionable Victorian house at the time. As a result they built cheaper, smaller, and plainer homes that included some elements of style from Victorian architecture. In essence, they built a Victorian home for plain and regular “folks”. Folk Victorian homes were very similar to vernacular homes. The main difference was that a Folk Victorian had Victorian elements, such as spindle wood porch details of jigsaw cut trim.

Craftsman/California Bungalow

The philosophy of the Craftsman bungalow is based on principles of honesty, integrity, and a return to nature. Natural woods, shingles, earth colors, brick, stone, river rock, and heavy structural beams signified compatibility with nature. Exposed structural elements and rafters represented openness, honesty and integrity. The California Bungalow is a smaller, more streamlined version of the Craftsman Bungalow. The California Bungalow is a builder’s interpretation of the architect-designed Craftsman Bungalow. Mass production allowed builders to construct California Bungalows quicker and at a more reasonable cost to keep up with California’s rapid population growth. Craftsman and California bungalows are generally characterized by low pitch gable roofs, stone or brick building and column bases, clapboard or shingle siding, exposed structural elements and rafters, large front porches, square or tapered columns supporting a gable porch roof, overhanging eaves, and large front windows.

7.3.2b Discouraged Architectural Styles and Character



Examples of Craftsman/California Bungalow homes

There are many traditional architectural styles that were not present in historic Dublin Village. If future residential homes are designed in these styles, a false sense of heritage and historic character could be created. Therefore, architectural styles that were not present in the area should be avoided. Examples of these styles include:

- Colonial revival
- Greek revival
- Italianate
- Moderne
- Monterey
- Mission
- Spanish Colonial
- Prairie
- Stick Victorian
- Queen Anne Victorian
- Tudor

7.3.2c *Mass and Scale*

New residential buildings should be constructed with pedestrian-oriented mass and scale. Extremely large homes (or mansions) and



Italianate



Moderne



Monterey



Mission



Prairie



Stick Victorian



Colonial Revival



Greek Revival



Queen Anne Victorian

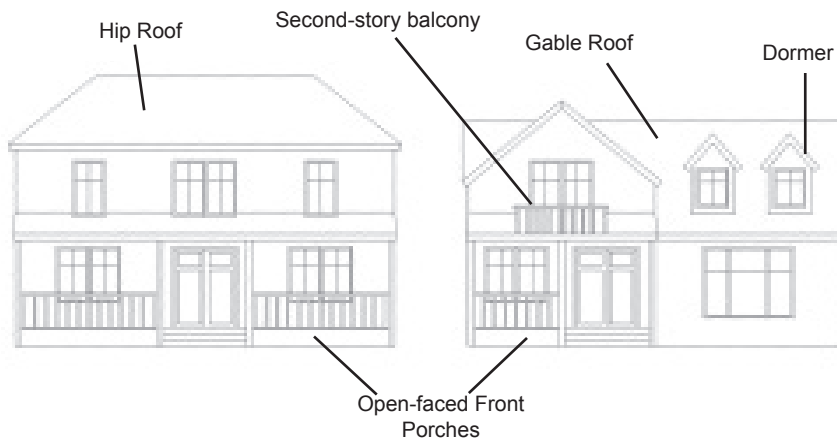


Tudor



Avoid large and bulky residential apartment buildings and single family homes

Desirable Building Forms and Elements



large, bulky apartment/condominium buildings should be avoided. If a multifamily development is proposed, multiplex homes are encouraged to reduce the apparent mass and scale of the development. A multiplex home is a residential product that is designed to resemble a single-family home while providing multiple residences under one roof. Multiplex homes should generally have two to eight units within one building. Additional units may be appropriate if they are designed with adequate articulation and are compatible with the scale and character of the area.

7.3.2d Building Forms and Elements

Building forms and elements should be compatible with the architectural design of the home. In general, forms and elements that were commonly used in traditional homes should be used for both single-family and multiplex development projects. The main body of the home should have a basic one to two story rectangular shape. Front, side, or rear wings may project from the main body to provide additional square footage for the home and to provide articulation to the building. The entire home should be covered with a full hip or gable roof. The pitch of the roof should be compatible with the style of the structure. Dormers are also encouraged. Flat, shed, mansard, and parapet roofs should be avoided. Open-faced front porches, verandahs, and recessed or projected balconies are strongly encouraged.

7.3.2e Side and Rear Facades

The design of side and rear façades should not be minimized just

because it is screened from public view. Side and rear facades should be stylistically the same as the front façade and should utilize the same forms, materials, colors, and details as the front façade.

7.3.2f Building Height

One to two story homes are encouraged. A third story may be appropriate for some residential buildings. If proposed, the third story should utilize dormers to reduce the apparent height and scale of the building.

7.3.2g Building Materials

Building materials should reflect the traditional and historic character of Dublin Village. The following materials are encouraged:

- Horizontal wood siding (Clapboard, drop, or bevel siding)
- Vertical wood siding
- Shingle siding
- Rock, natural cut stone, or brick used for building bases, column bases, and chimneys
- Timber construction used in trellises, overhangs, balconies, and other appropriate architectural elements
- Wood or composition shingles as roofs

Steel, glass block, metal siding, adobe, tile roofs, stucco, concrete, concrete block, tile, the heavy use of brick and stone, and modern materials should be avoided.

7.3.2h Building Colors

Homes should be painted with simple and basic color applications that were commonly used in the 1800s and early 1900s. All color



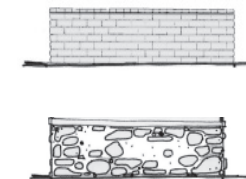
Horizontal wood siding



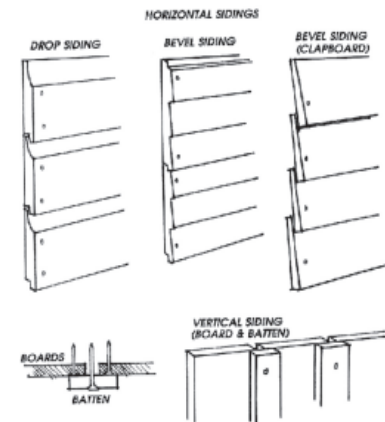
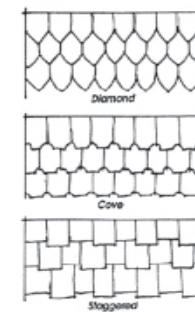
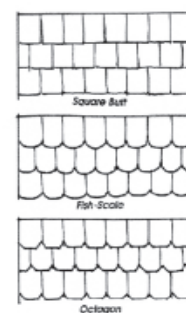
Vertical wood siding



Wood shingle siding

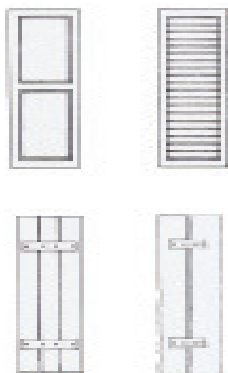


Stone and brick building bases, columns and chimneys

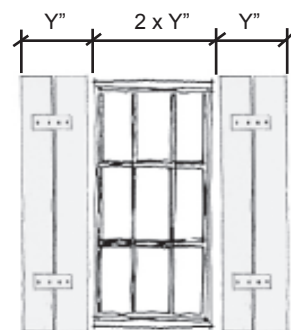




Examples of appropriate building colors



Examples of appropriate shutters



Shutters should enclose the entire window or door when closed

applications should be compatible with the architectural style of the home. In general, white, off-white, light gray, or a natural, mild or subdued color should be used for as the base color. One or two complimentary accent colors should be used for building trim, molding, window and door frames, and roof eaves. Bright, vibrant, and fluorescent colors should be avoided.

7.3.2i Window Fenestration

The placement and orientation of windows should generally be compatible with the architectural style of the home. In general, windows should have a basic rectangular shape and should have a vertical proportion and orientation.

7.3.2j Window and Door Design

The design of windows and doors should be compatible with the style of the home. In general, wood framed fixed, double hung, or casement windows are encouraged. Aluminum or vinyl-framed windows should be avoided. Wooden doors with raised panels and appropriately design windows are encouraged.

7.3.2k Window and Door Shutters

If used, window and door shutters should have a width that would enclose the entire window and door opening when closed. Panelized wood, louvered wood, or plank wood shutters are required.

7.3.2l External Stairways

Stairways should be compatible with the design of the home and should not look like they were tacked on or added as an after thought. The use of off-the shelf and ready-made stairs, railings, balustrades

should be avoided. If used, exterior stairways to the second floor of the home should generally be screened from public view and should be located to the rear or side of the home.

7.3.2m *Building Details and Ornamentation*

To respect the simple and modest character and image of the area, building details and ornamentation should be relatively basic and simple. All details should be compatible with character and style of the building.

7.3.2n *Detached Garages, Public Mailboxes, Accessory Units, and Trash Enclosures*

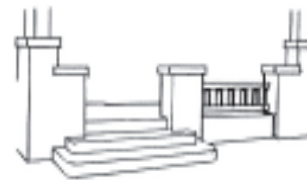
Detached garages, accessory units, public mail boxes, trash enclosures and other small structures should be architecturally compatible with the main building and should use similar forms, materials, and color applications.

7.3.2o *Mechanical Equipment and Utility Meters*

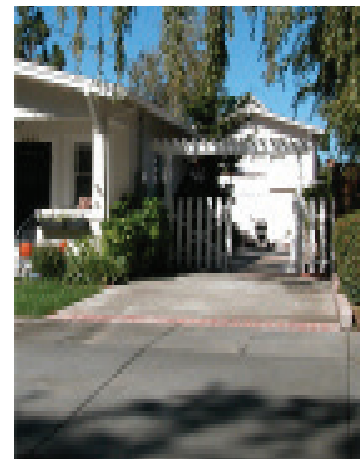
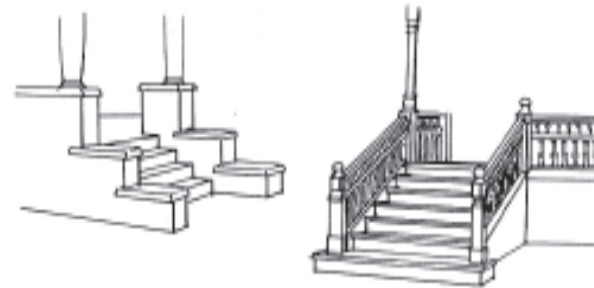
Mechanical equipment, including heating ventilation and air conditioning (HVAC) units and water and electrical meters, should be screened from public view.



Trash enclosures and other accessory structure should be architecturally compatible with the other buildings on the site

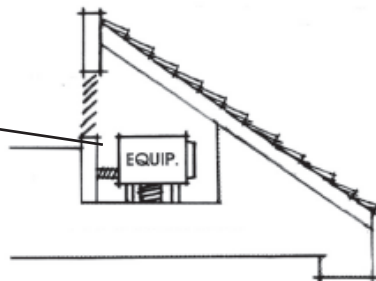


Stairways should be compatible with the design of the home



Detached garages, accessory units, and public mailboxes should be compatible with the design of the home

Views of mechanical equipment and utility boxes should be appropriately screened



7.3.2p Gutters and Downspouts

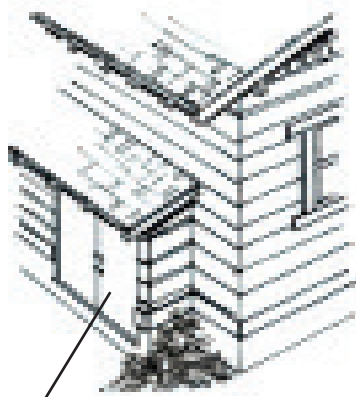
Gutters and Downspouts should relate to the style and lines of the home and should be painted to match the trim or body color of the structure. Downspouts should be located in the least conspicuous locations, such as side or rear facades. Whenever possible, downspouts should drain to a landscaped area, rather than a cement or asphalt driveway.

7.3.3 Site Planning

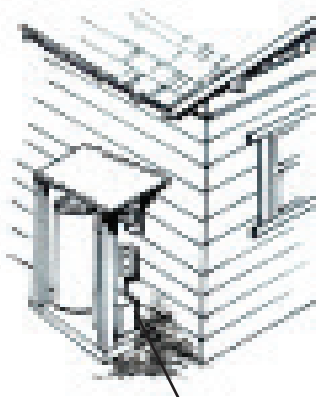
7.3.3a Traditional Neighborhood Design Principles

To the extent feasible, new residential developments within Dublin

Views of mechanical equipment and utility boxes should be appropriately screened

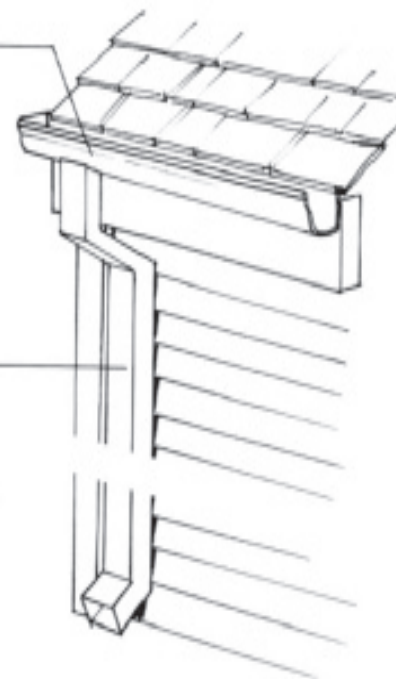


Avoid open views of mechanical equipment and utility boxes



Gutter

Located downspouts in the least conspicuous location (side or rear facades)



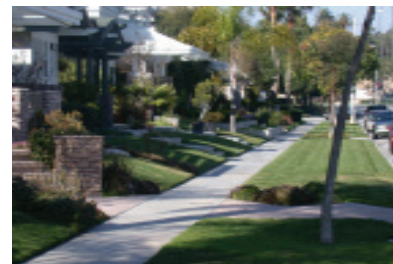
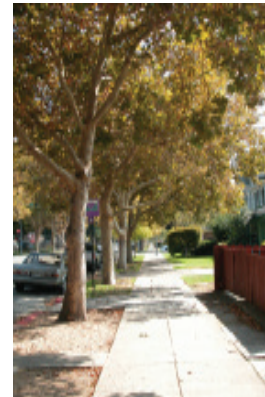
Village should be designed with traditional neighborhood design principles. Traditional residential neighborhoods have a variety of housing types, sizes, and densities. Most homes are placed relatively close to the street and are designed with front porches to encourage informal interaction along the public street. Garages are usually detached from the home and located to the rear of the lot. Either a narrow side driveway or a rear alleyway provides access to the detached garage. Many single-family homes also have an accessory unit, which provides additional rental housing opportunities. Streets are designed to calm traffic and to encourage walking and pedestrian activity. Streets have sidewalks, landscaped planter strips with regularly spaced trees, and relatively narrow street widths. Many streets have on-street parallel parking on one or both sides of the street.

7.3.3b Streets

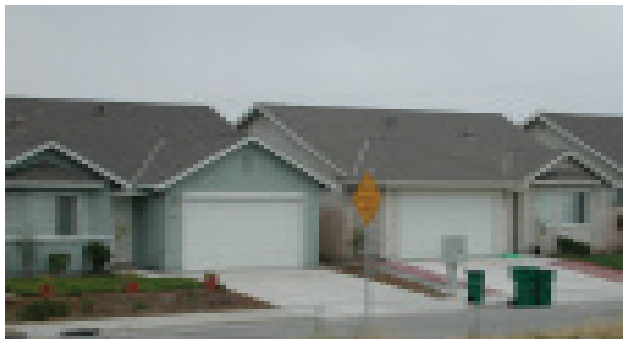
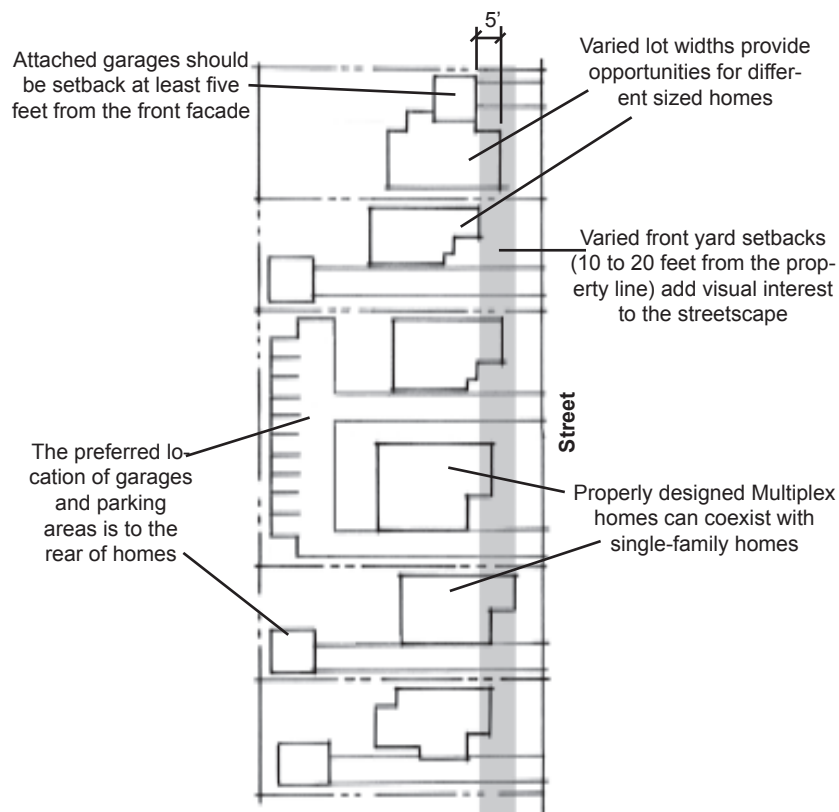
New streets (public or private) should be designed with sidewalks to encourage walking, landscaped planter strips with street trees to provide shade and visual diversity, and relatively narrow street widths (curb to curb) to calm or slow down vehicle traffic. Whenever possible, thru streets (rather than cul-de-sacs) are encouraged to improve connections and accessibility.

7.3.3c Driveway Locations

Driveways should be located as far away as possible from street intersections to minimize congestion and potential interference with the flow of street traffic. The number of driveways should be minimized to reduce the potential for conflicts between pedestrians



Photos of traditional neighborhoods.



Garages should not dominate the view of the home

and automobiles. Rear alleyways and/or shared driveways should be considered to minimize curb cuts.

7.3.3d Lots

A variety of lot widths should be provided to allow for a variety of different types and sizes of residential development along the streetscape, including single-family homes and multiplex homes.

7.3.3e Building Placement

Homes should be sited at variable front yard setbacks to establish different patterns of visible open space and to add visual interest along the streetscape. A continuous line of homes with the same setback should be avoided. Homes should generally be sited parallel to the street and within close proximity of the sidewalk (within 10 to 20 feet of the front property line) to help define the streetscape. Garages, carports, and parking area should be located behind the home to minimize the visual impacts of cars and garage doors. If the garage cannot be located behind the home, then it should be setback at least 5 feet from the front façade to minimize its visual appearance. In all instances, garages should not dominate streetscape views, and should be visually subordinate to the home.

7.3.3f Parking Lots and Carport Locations

Parking lots for multiplex homes should be located to the rear of the building and should be accessible from either a rear alleyway or side driveways.

7.3.3g Community Spaces

Large residential developments should include an outdoor community space for their residents. Appropriate outdoor spaces may include a public garden, community pool, or small park or tot-lot. These spaces should be visible from public streets and/or residential units to provide opportunities for informal surveillance, thereby increasing

the security and safety of the space. Spaces that are “walled off” and screened from public view feel isolated and unsafe, and therefore should be avoided.

7.3.3h Pedestrian Circulation

Safe and convenient pedestrian walkways should be provided between all entrances to homes, public sidewalks, on-site parking areas, trash disposal area, public mailboxes, and other community spaces. For multiplex homes, common walkways should not be located immediately adjacent to the building. A landscaped planting area should be located between the walkway and the home to provide some privacy for the residential units.

7.3.3i Trash Disposal Areas

To the extent feasible, trash disposal areas should be located to the rear or side of homes, and should be screened from public view by trash enclosures, landscaping, or fencing.

7.3.3j Mail Boxes

Public mailboxes should be located in highly visible and heavy use areas for convenience, to allow casual social interaction, and to promote safety.

7.3.4 Lighting Guidelines

7.3.4a Site Lighting

Residential developments should have adequate lighting to create the perception of a safe, secure, and non-threatening environment. Parking lots, rear alleyways, pedestrian walkways, public mailboxes,



Example of a small public space for a residential development project



Attractive and safe pedestrian walkways should be provided throughout multiplex housing sites



Place public mailboxes in a highly visible and heavy use area



Direct site lighting so that only the intended area is illuminated and to control off-site glare



Site lighting should not shine directly into residential windows

all building entrances, porches and balconies, service areas, community spaces, and trash disposal area should have appropriate sources of light. The style and design of all exterior lights should be compatible with the architectural style and character of the home.

7.3.4b Site Lighting

Site lighting should be designed to shine downward on adjacent sidewalks. Streetlights should be directed and shielded so that they do not shine into residential windows. Light posts and fixtures should reflect the historic character and image of the area. In general, a basic metal light post and fixture with simple details and ornaments should be used. Light posts should be scaled to pedestrians and should generally have a height less than 15 feet. Tall and modern light posts and fixtures should be avoided.

7.3.4c Glare

All exterior lighting should be designed and located so that only the intended area is illuminated and off-site glare is controlled.

7.3.5 Landscaping Guidelines

7.3.5a Indigenous Drought-Tolerant Plant Material

Residential properties should be landscaped with indigenous and drought-tolerant plant materials. Landscaping treatments should include a variety of trees, grasses, shrubs, and wildflowers. Landscaping within front yards, common areas, and areas visible to the public should be regularly maintained to be free of weeds,

overgrown vegetation, and trash. A list of recommended landscaping trees is provided in Appendix A.

7.3.5b Walkways

The edges of pedestrian walkways should be enhanced with attractive landscaping and trees to improve the pedestrian experience. Vine covered trellises over walkways are also encouraged. Special materials, such as porous concrete pavers, stone, gravel, and brick, are encouraged in the design of pedestrian walkways.

7.3.5c Fences

Front yard fences are encouraged to add to the character and image of the area. All fencing material within the front yard setback should be no more than three feet high and should be semi-transparent. Taller fences that are up to six feet tall can be constructed around the side and rear yard. Wood is the preferred material for fences. Chain link fences, barbed wire, concertina wire, concrete block, and stucco materials should be avoided. All fences over 3 feet in height should be setback from sidewalks and public walkways by approximately five feet. Vines and shrubs should be planted between the fence and sidewalk to soften its appearance and to deter graffiti.

7.3.5d Hollywood Driveways

Single-width Hollywood driveways should be used to reduce the amount of impervious surface on a project site. A Hollywood driveway has a grass strip down the middle of the driving aisle.

7.3.5e Parking Lot Pavement

To the extent feasible, porous surfaces should be incorporated into the design of parking areas to reduce the volume and rate of stormwater



Example of appropriate front yard landscaping and fencing



Example of landscaped pedestrian path



Example of Hollywood Driveway

runoff. A possible example would be a hybrid parking lot, which is designed with a combination of pervious and impervious surfaces. The driveway aisles are typically covered with an impervious concrete material, while the parking stalls are designed with a pervious surface, such as crushed aggregate, gravel, or turf block.

7.3.5f *Land Use Buffers*

A combination of plant material, trees, and fencing screens may be necessary to screen views of adjacent properties with non-compatible land uses. When required, landscaped buffers and setbacks should protect the privacy of residential units and adjacent uses to the extent feasible.

sdadfs



Examples of parking surfaces with porous pavement

SECTION 7.4

GUIDELINES FOR THE PRESERVATION AND ENHANCEMENT OF HISTORIC RESOURCES



St. Raymond's Church



Alamilla Springs



Murray Schoolhouse



Pioneer Cemetery



Green's Store



Bonde House



Ponderosa House

7.4.1 Applicability

The design guidelines in this chapter apply to all structures and resources on the Dublin Historic Resources Inventory that are listed or eligible for listing on the National Register of Historic Places or the California Register of Historic Resources. These resources include:

- St. Raymond's Church;
- Old Murray Schoolhouse;
- Pioneer Cemetery;
- Green Store; and,
- Alamilla Springs.

Property owners of those resources on the Dublin Historic Resources Inventory that are historically significant at the local level are also strongly encouraged to comply with these guidelines. These resources include:

- Ponderosa House; and,
- Bonde House

The design guidelines that follow are general in nature. They identify the preferred preservation and rehabilitation techniques for existing structures, and provide additional guidance for additions and infill development on properties with historic resources.

7.4.2 Secretary of Interior's Standards

7.4.2a Use of the Secretary of Interior's Standards and Guidelines

Property owners are strongly encouraged to utilize the *Secretary of the Interior's Standards for the Treatment of Historic Resources With Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* when restoring, preserving, or rehabilitating a historically significant structure or property, which would include all properties on the Dublin Historic Resource Inventory. The standards and guidelines are available at the City of Dublin Community Development Department and can be reviewed on line at <http://www2.cr.nps.gov/tps/Standards/index.htm>.

The United States Secretary of Interior is responsible for preparing standards and guidelines to determine the appropriateness of work to be done on properties qualifying for the Federal Historic Preservation Fund grant program. These standards and guidelines are found in the *Secretary of the Interior's Standards for the Treatment of Historic Resources With Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (commonly referred to as the Secretary of Interior's Standards). The Secretary of Interior's Standards have also been widely used for other purposes. Federal and state agencies that own and manage properties listed on the National Register of Historic Places utilize the standards and guidelines to rehabilitate and preserve their resources. They are also used to determine if a rehabilitation effort qualifies as a "Certified Rehabilitation", which gives property owners certain tax benefits. In addition, state and local officials have adopted and used the standards and guidelines for their preservation efforts.

The intent of the Secretary of Interior's Standards is to assist with the long-term preservation of a property's historical significance through the preservation of historic materials and features. The Standards pertain to all types of historic buildings, and address both the exterior and interior of the building. They also address related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction.

The Secretary of Interior's Standards provide general information to determine the appropriate treatments of historic properties. They are written in broad terms to apply to all types of building styles, materials, and construction techniques. They are designed to assist in the understanding of the basic concepts and principles of preservation, rehabilitation, restoration and reconstruction. These categories are described below:

- *Restoration*: the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of the missing features from the restoration period.
- *Preservation*: the act or process of applying measures necessary to sustain the existing form integrity, and materials of a historic property.
- *Rehabilitation*: the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values.
- *Reconstruction*: the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure or object for the purpose of replicating its appearance at a specific period of time and in its historic location.



7.4.3 Key Restoration, Rehabilitation, and Preservation Guidelines

The guidelines in this section are based on the key restoration, rehabilitation, and preservation guidelines from *Secretary of the Interior's Standards for the Treatment of Historic Resources With Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*. Adherence to these guidelines for restoration or rehabilitation of a structure or resource on the Dublin Historic Resource Inventory will permit a categorical exemption for the purposes of California Environmental Quality Act review (CEQA Guidelines section 15331).



7.4.3a Research

Property owners should consider conducting some research before designs for alterations or rehabilitation projects are prepared. Research should include determining the appearance of the building at the time of its original construction and a physical examination to determine if the significant historic fabric has been altered and can be recovered, restored, or reconstructed.



7.4.3b Repair and Replace First

It is always better to repair than to replace. Original architectural features on a building should be repaired and restored to the extent feasible. When restoration is not possible, original materials should be used if they are available. If the original material is not available, then substitution materials should incorporate the design, texture, color, and form that conveys the visual appearance of the original material. Care should be taken to match the original pattern, thickness, color, width, and texture as closely as possible.

7.4.3c Character-Defining Features

The character-defining features of the building style need to be preserved and not removed or altered. Rehabilitation efforts should not add features or details to a building to create a phony character or false image of the building's history. Rather, rehabilitation efforts should reuse existing and appropriate features that are genuine to the actual historic image and character of the structure.

7.4.3d Foundations

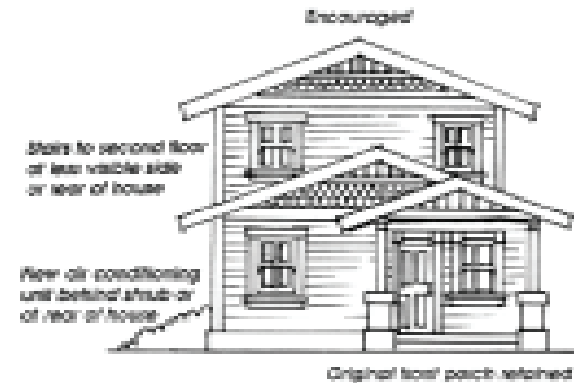
Materials used to repair or replace foundations should be consistent with the architectural style of the building. The application of mortar or other structural features should match the original material, design, craftsmanship, textures, and colors of the foundation.

7.4.3e Exterior Walls

When repairing or remodeling exterior wall surfaces, the original exterior building materials should be retained. If original materials cannot be repaired or restored, then replacement materials should match the original materials as closely as possible. A mismatch of materials of different types, sizes, shapes, textures, or finishes should be avoided. Wood siding should never be replaced with stucco or aluminum or vinyl siding in an attempt to “modernize” the building. These material substitutions destroy the architectural integrity of the building.

7.4.3f Brick and Masonry

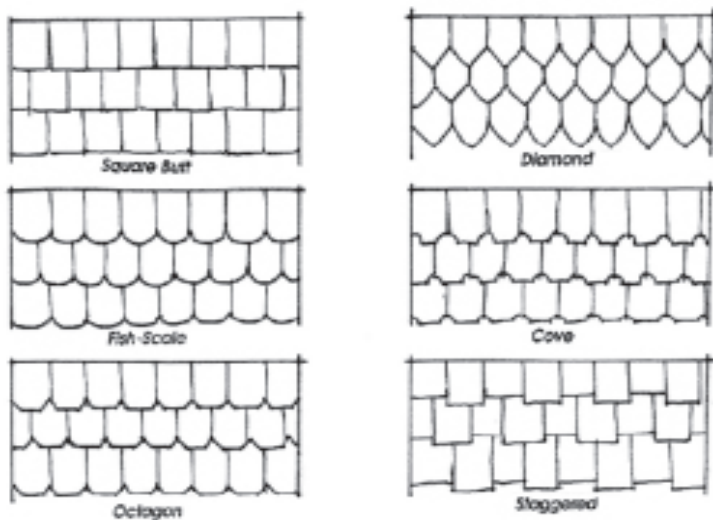
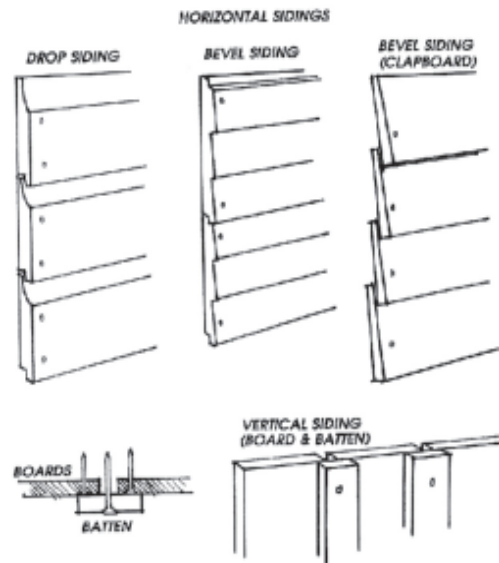
If it is necessary to replace a few bricks within a chimney or wall, then the replacement bricks should match the existing size, color, and texture of the existing bricks to the greatest extent possible. Original



Example of a proper rehabilitation that preserves the character defining features of the building



Example of an improper rehabilitation



brick patterns should be followed when reconstructing brick walls. The pattern should be compatible with the character and image of the building. The repair of mortar joints should be performed by an experienced professional to insure that the joints are consistent within the wall.

7.4.3g *Paint and Color*

Buildings should be painted with original building colors. If the original color is not known, then the building should be painted with a color that is consistent with the architectural style of the building. The application of heavy layers of paint can often obscure the integrity of building materials and details, and therefore should be avoided. Building materials that were historically painted should not be recovered with stain or varnish.

7.4.3h *Porches*

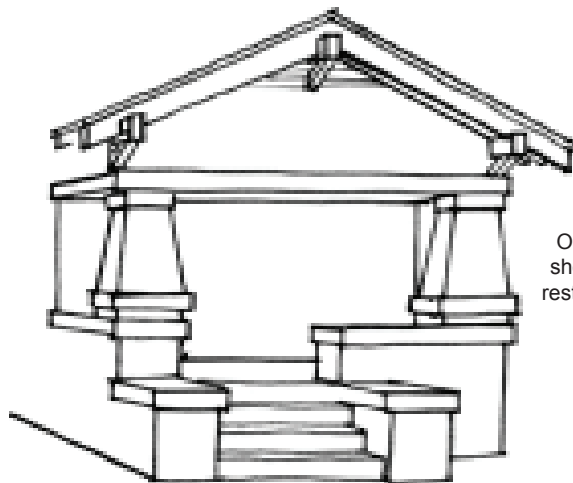
There is often a desire to modernize or change the appearance of a structure by altering the porch. Many porches have been enclosed to add additional indoor space. Other porches have been modified with new overhangs, stairs, rails, balustrades, and support columns. Alterations to the original design of porches and porch details should be avoided as they jeopardize the historic integrity of the building.

When buildings are restored or rehabilitated, porch enclosures should be removed and the original design of the porch should be reconstructed. When a porch needs to be repaired or reconstructed, it should follow the original design to the greatest extent possible, and should be compatible with the architectural style of the building. The use of off-the shelf and ready-made stairs, railings, balustrades should be avoided.

7.4.3i *Windows*

When altering, replacing, or reconstructing windows, the following guidelines should be implemented to maintain the structure's historic integrity and architectural balance:

- Original window openings should be retained. If the original window opening has been altered, it should be restored to its original location and configuration. Blocking or filling original window opening should be avoided.
- Original window frames and glass should be saved and restored when possible. Missing, rotting, or broken window sashes, frames, mullions, and muntins should be replaced with like materials.
- If the repair and restoration of an original window is not possible, the replacement window should match the original window as closely as possible. This may require custom designing and constructing the window. “Off-the-shelf” windows that do not closely match the original window should be avoided. Aluminum or vinyl frame windows are also inappropriate and should be avoided.
- The original trim around windows should be repaired and



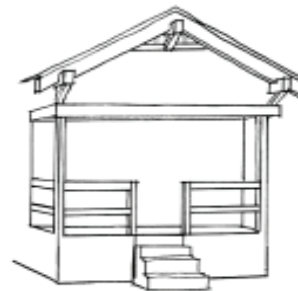
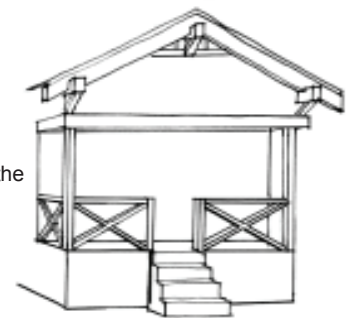
Original porch designs should be retained in all restoration and rehabilitation efforts



Avoid enclosing the front porch



Avoid the use of railings, stairs, and columns that are not compatible with the original design of the structure

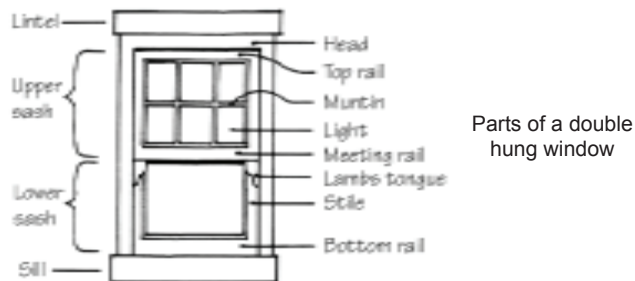




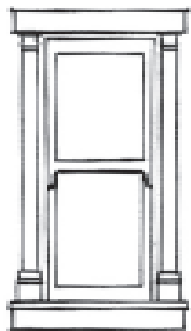
Original Window openings should be retained



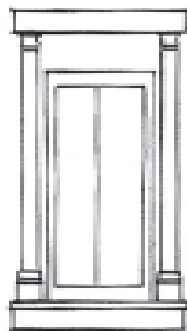
Avoid the alteration of window openings



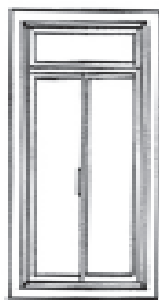
Parts of a double hung window



Retain the original window style and its original details



Do not alter the shape and size of the original opening and do not replace original windows with a different window style



Avoid aluminum or vinyl windows and do not remove original window trim and ornamentation

restored if possible. If the trim is too deteriorated to repair or is missing, then it should be replaced with like materials that match the original as closely as possible.

7.4.3j Doors

Original doors should be repaired and restored when possible. When replacement is necessary, they should be replaced to match the original door's, design, materials, and details. If the original door is missing, an appropriate design should be selected by studying historic photographs or other similar architectural styles in the area or region. Some doors may have to be custom designed and constructed. All replacement doors should be compatible with original architectural style of the building.

7.4.3k Ornamentation and Trim

Original trim and ornamentation should not be removed or replaced when only minor patching or repair is necessary. If replacement is required, the replacement material should match the size, placement, design, shape, texture, and color of the original as closely as possible.

7.4.3l Roofs

When altering, replacing, or reconstructing roofs, the following guidelines should be implemented to maintain the structure's historic integrity:

- Patching a damaged area of the roof with materials or colors that do not match the rest of the roof is not appropriate.
- New roofing equipment should be placed out of public view.
- Replacement roofing materials should match the original roofing material as closely as possible and should be compatible with the design of the structure.
- Eaves, Fascias, and soffets are integral parts of the roof. Care

should be taken to preserve the detailing and other character-defining elements of these features.

7.4.3m Gutters, Downspouts

Historically significant buildings should have gutters and downspouts to prevent premature weathering that occurs when water runs down the sides of the building. Whenever possible, original gutters and downspouts should be repaired and preserved. New gutters and downspouts should relate to the style and lines of the building. They should be painted to match either the trim or body color of the structure. Downspouts should be located in the least conspicuous locations, such as the rear or sides façade of the building.

7.4.3n Flashing and Vents

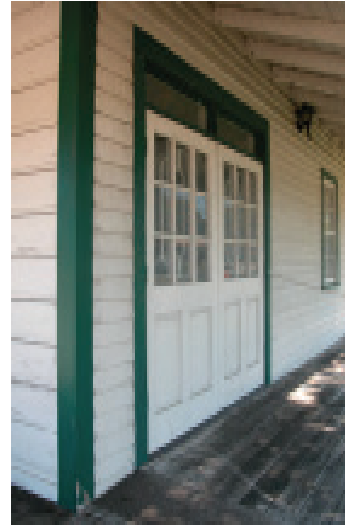
Vent pipes, flashing, and stacks that protrude through the roof should be painted to match the color of the roof. If these materials are too deteriorated to repair, then they should be replaced with like materials.

7.4.3o Mechanical Equipment

Mechanical equipment, including heating ventilation and air conditioning (HVAC) units and water and electrical meters, should be screened from public view. The installation of HVAC units in windows openings should be avoided.

7.4.3p Additions

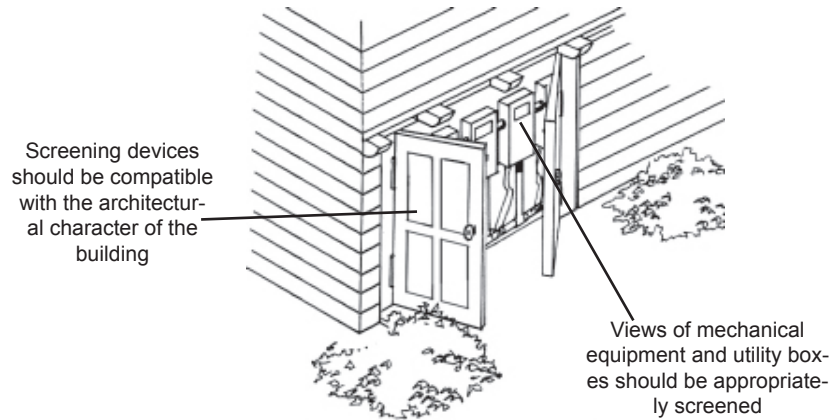
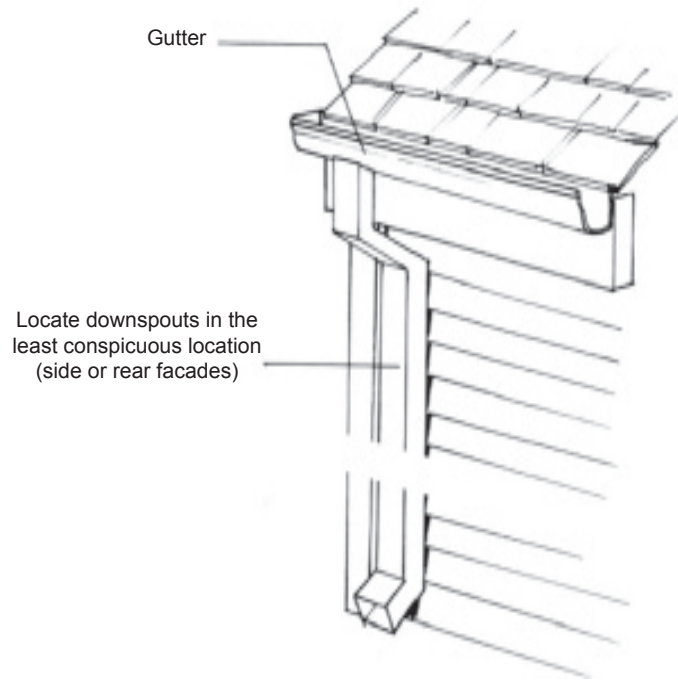
Additions to historically significant buildings may be necessary to ensure their continued use. Such additions are the most sensitive and difficult design issues to manage. The following guidelines should be utilized when additions are contemplated to historically significant buildings:



Original doors, trim, and ornamentation should be restored and preserved



Avoid the use of roofing materials that are not compatible with the style and character of the home



- Whenever possible, additions should be placed to the side or rear of the property and should not obstruct the appearance of the building from the street.
- Modifications should fit within the overall scale of the existing building and should be compatible with its architectural style.
- Preserve the significant historic and architectural features, details, and materials of the existing building.
- Preserve the character and scale of the building by maintaining existing proportions for the new addition.
- Additions should not attempt to create an artificial historical look that is not compatible with the original historic structure.
- Additions to architecturally significant buildings should incorporate the distinctive design features of the original house such as window and door size, shape, and style; exterior materials; roof style, pitch and material; finished floor height; color; and trim and decoration.

7.4.3q *Infill Development and Accessory Structures*

New structures that are built on a property with a historic building should be located to the rear or side of the historic structure. The design of the new structure should be compatible with the historic



Do not place HVAC units in windows

structure and should incorporate similar building forms, window and door openings, materials, colors, details, and ornamentation.

7.4.3r Landscaping

Property owners are encouraged to identify, retain and preserve landscaping features that contribute to the overall historic character of the property. Landscaping features may include walkways, paths, fences, trees, vegetation, landforms, furnishings, sculptures, gravestones monuments, fountains, drainage ways, and subsurface archaeological resources. Mature trees, landscaped areas that are highly visible from public streets, and landscaping features that contribute to the historic value of the property should not be removed or altered. To the extent feasible, historic landscaping treatments that have been removed from the property should be recreated to reinforce the desired character and image of the property. Important landscapes that should be restored and preserved include the Dublin Heritage Center and Pioneer Cemetery property and the remnant of the Alamilla Springs.

7.4.4 Preservation Incentives

A wide variety of incentives are available to give property owners motivation to repair and rehabilitate historical resources. These



Avoid additions that are not compatible with the original style and character of the building

Second-story additions should be setback from the main facade and their design should be compatible with the original structure



Avoid additions that do not have compatible roof forms, windows, materials, or details



Example of appropriately designed addition to an existing historic resource in Dublin Village



Infill development on properties should be compatible with the character and image of the historic building



include federal tax credits for rehabilitation of qualified historical resources, property tax abatement programs, the use of alternative building codes, and tax deductions for preservation easements. Removing or altering exterior or interior features of historically significant buildings could immediately disqualify the property from tax credits. The City encourages property owners to consider all available preservation incentives early on in the design process.

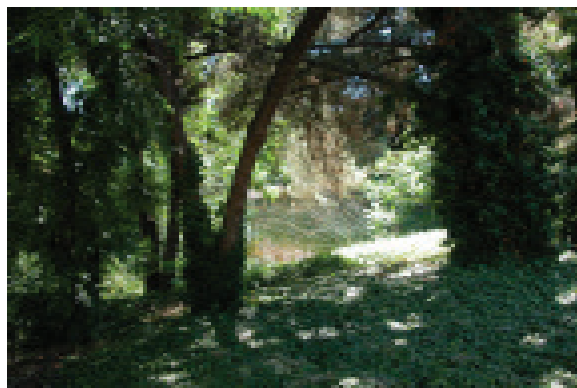
7.4.5 Relocation of Historic Resources

Occasionally, property owners have the desire to demolish or move older buildings or resources from their property, and are often willing to sell or donate the resource to a historic society or public agency. The City of Dublin should consider placement of historic buildings within the Dublin Heritage Center or other properties within Dublin Village to enhance the area's historic value. Relocation proposals should comply with the following guidelines:

- The historic resource should be local to the City of Dublin or the Tri-Valley area (San Ramon Valley, Amador Valley, and Livermore Valley);
- The historic resource should be similar to other buildings that once existed in Dublin Village;
- The historic resource should enhance the historic value of the area; and
- Historic resources should be placed in appropriate locations that are visible and easily accessible to the public.



Landscaping features that contribute to the significance of historic properties should be rehabilitated and preserved



The Alamilla Springs should be restored as an important historic resource

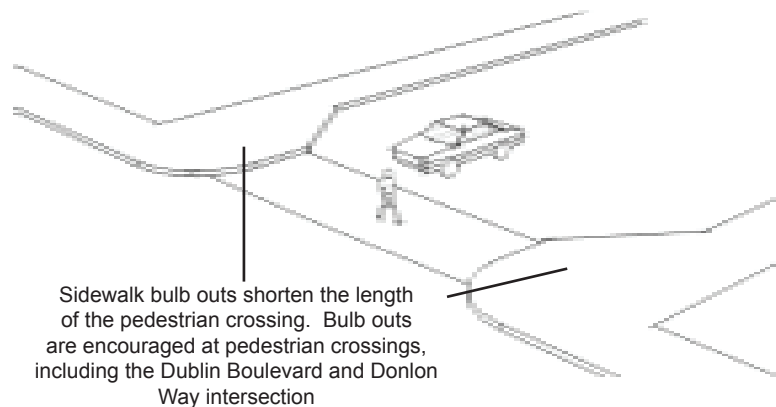
SECTION 7.5

STREETSCAPE AND PUBLIC SPACE

DESIGN GUIDELINES



Example of an attractive arterial street



This section provides general design guidelines for future streetscape improvements within Dublin Village. Included are guidelines on traffic calming, sidewalks and crosswalks, and streetscape furniture and amenities.

7.5.1

Traffic Calming

7.5.1a Dublin Boulevard

Traffic calming measures should be explored to reduce vehicle speeds and to improve the pedestrian experience on Dublin Boulevard. Such measures may include reducing the speed limit, expanding sidewalks and medians to narrow the width of vehicle lanes thereby reducing vehicle speeds, installing sidewalk bulbouts to narrow pedestrian crossings, and allowing on-street parallel parking to provide a buffer between the sidewalk and vehicle traffic. Planting canopy street trees along the outer edges of sidewalks and within median of Dublin Boulevard to provide shade over roadway would also improve the pedestrian experience and help reduce vehicle speeds (studies have shown that patterns of light and shadow created by trees tend to reduce vehicle speed).

7.5.1b Paved Crosswalks

A special pavement material with a varied texture and color should be applied to all crosswalks within Dublin Village. The material, texture, and color should clearly define the pedestrian crossing, slow traffic down at intersections, and improve the overall visual quality of the street.

7.5.1c Pedestrian Safe Zones

Pedestrian safe zones are encouraged along pedestrian crosswalks across Dublin Boulevard and San Ramon Road. Pedestrian safe zones improve safety and provide a safe stopping point for the elderly and handicapped. Appropriate locations for pedestrian safe zones include medians and channelized right-turn islands.

7.5.2

Sidewalks



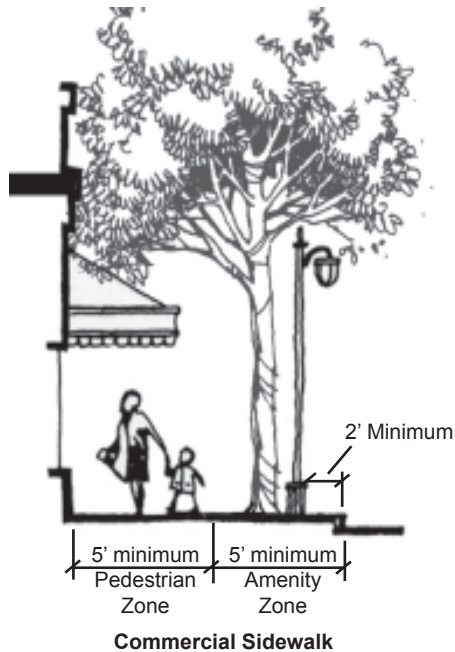
Pedestrian safe zones increase pedestrian safety on wide arterial streets



This pedestrian crossing is enhanced with special paving treatments



This pedestrian crossing is enhanced with special paving treatments and a pedestrian safe zone within the median



7.5.2a Sidewalks

New development projects should improve the public sidewalks that are located adjacent to their project. Improved sidewalks should generally consist of two zones: the pedestrian zone and the amenity zone. The pedestrian zone is a clear walking area located on the inner portion of the sidewalk. It should be at least five feet wide to provide adequate space for walking and wheel chairs. The amenity zone is the outer portion of the sidewalk. It is generally paved in commercial areas and landscaped in residential areas. Street trees, benches, streetlights, trash receptacles, planters, utility poles, signage, and other streetscape amenities are located within the amenity zone. The amenity zone should be at least five wide to accommodate street trees. In general, streetscape amenities should be located approximately two feet from the curb face to allow room for car doors to open.

7.5.2b Sidewalk Pavement

Sidewalk pavement within Dublin Village should have a varied color and texture to help define the unique character of the area. The pavement design should be relatively basic and simple and should be compatible with desired character and image of the area. Elaborate and detailed paving should be avoided to minimize installation and maintenance costs.

7.5.2c Intersection Sight Lines

Streetscape amenities (benches, trees, trash receptacles, planters, etc.) should be located at a sufficient distance from intersections to provide clear viewing distances for cars.

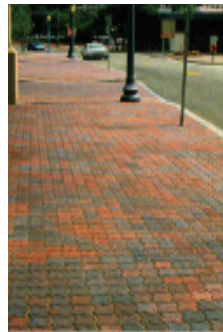
7.5.2d Consistent Street Trees



Discourage a normal cement pavement texture in sidewalks



Encourage a special pavement texture and color in sidewalks



Avoid elaborate, detailed, and costly pavement textures

A list of street trees should be selected and approved by the City of Dublin for Dublin Village. Street trees should be selected based on the following guidelines:

- Trees should be thornless and fruitless to minimize pedestrian hazards and cleaning costs.
- Trees should have a single trunk.
- Trees should be indigenous to the region.
- Along commercial streets, trees should be selected to minimize the obstruction of views to storefronts and business signs.
- Trees should have a full canopy that provides shade along the street.

A list of recommended street trees is provided in Appendix F.

7.5.2e Placement of Street Trees

Regularly spaced trees should be planted within the amenity zone of sidewalks. The spacing of the trees should be based on the need to allow room for adequate root and branch growth while still providing a continuous canopy. Most trees are spaced out by approximately 30 to 45 feet. The spacing should only be adjusted when needed for driveways and lights.

7.5.2f Trees Grates and Guards

Tree grates and guards should be installed to protect growing street trees.

7.5.2g Utility Lines

Whenever possible, the streetscape should be improved by undergrounding utilities. All power poles should be removed from the streetscape if overhead utilities are placed underground.



Example of an appropriate street tree



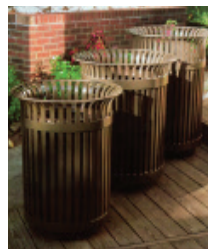
Tree grates and guards should be used to protect growing street trees



Examples of inappropriate streetscape furniture



Examples of appropriate streetscape furniture



7.5.3

Streetscape Furniture and Amenities

7.5.3a *Consistent Streetscape Furniture*

A palette of streetscape furniture and amenities should be selected and approved by the City for Dublin Village. At minimum, the streetscape furniture palette should include streetlights, a bench, trash receptacle, a drinking fountain, a bike rack, a bollard, tree grates and guards, planter boxes, streetlights, and newspaper racks.

7.5.3b *Character of Streetscape Furniture*

Although the City has adopted a city-wide street furnishings palette designed for Dublin Boulevard and other major thoroughfares, the streetscape furniture in this Specific Plan area should reinforce the desired character and image of Dublin Village. In general, streetscape furniture should have a relatively simple and basic design that reinforces the desired historic character of the area. Streetscape materials should be constructed out of quality, durable, and low maintenance materials, such as iron, treated wood, or synthetic wood (plastic composites). Extremely elaborate details and ornamentation should be avoided, as it is not compatible with area's history. Modern and contemporary streetscape furniture should also be avoided.

7.5.3c *Street Lights*

Streetlights should be scaled to pedestrians and should generally not exceed a height of 15 feet. Streetlights should be compatible with the desired character of the area and should be designed with a relatively simple and basic metal base, post, and lantern head. They should be designed and located to appropriately light the sidewalk for pedestrian safety while still maintaining a desirable nighttime ambience. Over-lighting the streetscape should be avoided. Over-lighting can create a "prison-yard" look and can damage the potential for nightlife. Tall, concrete, and modern street lights should be avoided.

7.5.3d Gateway Signs

Gateway signs should be designed and constructed within Dublin Village to improve the area's image. The preferred location for the primary gateway sign is at the intersection of Dublin Boulevard and Donlon Way. Secondary gateway signs should be located on Dublin Boulevard at the San Ramon Road intersection and the Hansen Drive intersection. Gateway signs should be constructed with durable materials, such as stone, wrought iron, brass, enamelized metal, or wood. Designs that symbolically represents aspects of the area's history and heritage is encouraged. Appropriate types of gateway signs may include monuments, overarching signs, and/or special landscape treatments.

7.5.3e Wayfinding Signs

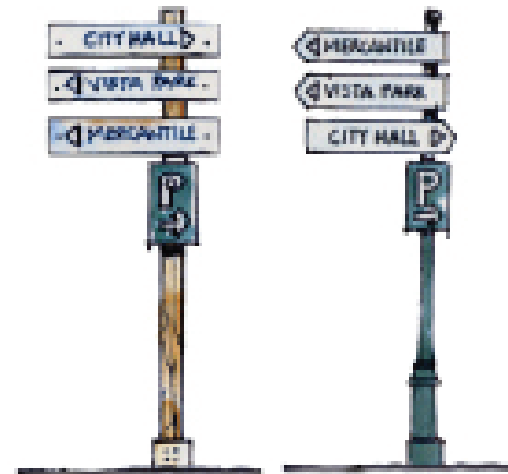
Wayfinding signage should be designed for Dublin Village. Wayfinding signs should be oriented towards both pedestrians and automobiles. The signs should have a unique character and feel that is compatible with the desired image and character of the area. They should be constructed out of durable materials such as stone, wrought iron, brass, enamelized metal, or wood. Wayfinding signage should be strategically placed along Dublin Boulevard to direct automobiles to the Dublin Heritage Center and Pioneer Cemetery. Signage should also direct pedestrians to other historic resources and sites in the area, such as Alamilla Springs, Green's Store, the Bonde House, and the Ponderosa House.

7.5.3f Street Signs

Special street signs and posts should be installed within Dublin Village to reinforce the desired image and character of the area and to set it aside as a unique place.

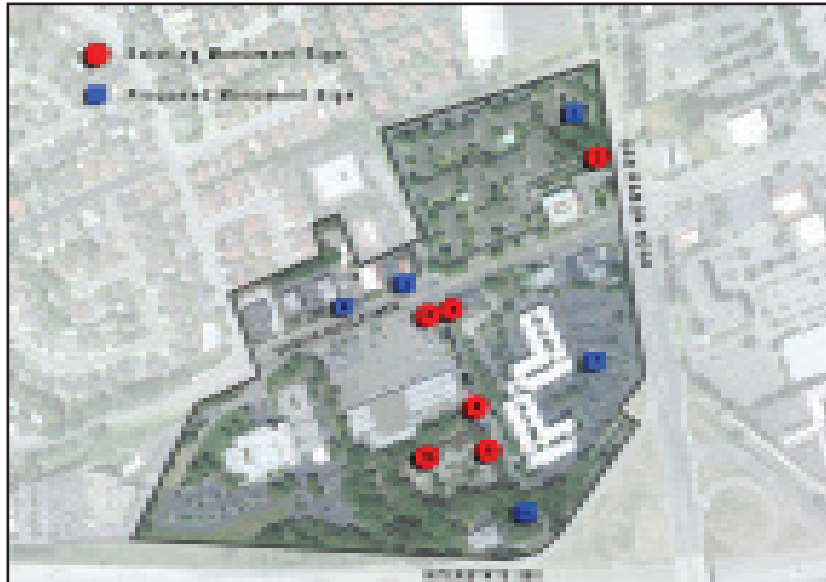


Example of an overarching gateway sign



Examples of wayfinding signage

Proposed Locations of Historic Monument Markers:



- | | |
|--|--------------------------------------|
| 1. Amador Adobe/Dougherty Residence Site | 7. Murray House/Green's Mansion Site |
| 2. Alamilla Springs | 8. St. Raymond's Church |
| 3. Dougherty Station Hotel Site | 9. Old Murray Schoolhouse |
| 4. Bonde House | 10. Pioneer Cemetery |
| 5. Green's Store | 11. Ponderosa House |
| 6. Amador Valley Hotel Site | |



Existing historic monument sign in Dublin Village



Example of new historic monument sign that is compatible with existing signs, but enhanced with landscaping, expanded information, and illustrations

7.5.3g Historic Monument Signs

Historic monument signage should be placed along pedestrian walkways and sidewalks to describe the context of key historic sites in the area. The following historic sites are candidates for historic monument signs:

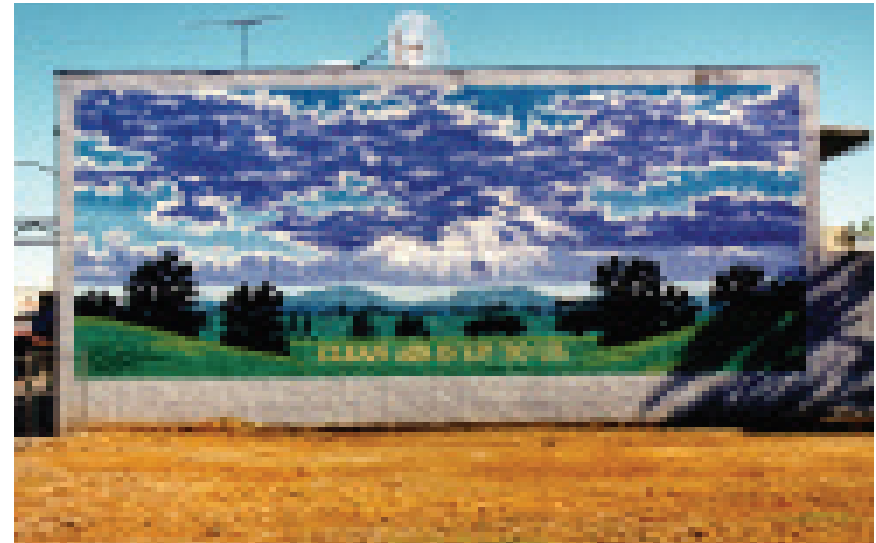
- The Amador Adobe/Dougherty Residence Site
- Alamilla Springs
- The Murray House/Green's Mansion Site
- Green's Store
- The Bonde House
- St. Raymond's Church
- The Old Murray Schoolhouse
- The Ponderosa House
- The Amador Valley Hotel Site
- Dougherty Station Hotel Site
- Pioneer Cemetery

All historic monument signs should have a consistent design in terms of their placement, size and shape, and materials. A number of historic sites are currently marked with monument signs that are constructed of river rock and enamalized metal. New historic monument signs should incorporate this design to create consistency and to minimize replacement costs. However, the design of new signs are encouraged to be slightly bigger and more noticable than the existing signs. New signs should include written text that describes the importance of the site and pictures to illustrate what the site and buildings used to look like. Special landscaping treatments and lighting should be used to highlight the new signs.

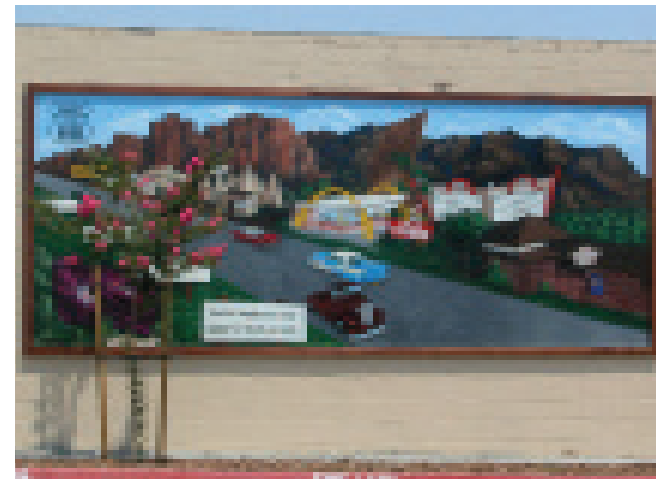
7.5.3h Dublin Boulevard Mural

The City should consider working with the property owners to sponsor a project to paint a series of historically-themed murals along the block walls on the north side of Dublin Boulevard, between Donlon Way and San Ramon Road. The walls are currently a part of the Springs Apartment Complex. The street-facing facade of the Shopping Center at the corner of San Ramon Road and Dublin Boulevard (currently a PetCo.) could also be painted as an extension of the murals. The murals should illustrate the impact transportation has had on Dublin Village and its role as an important regional crossroads.

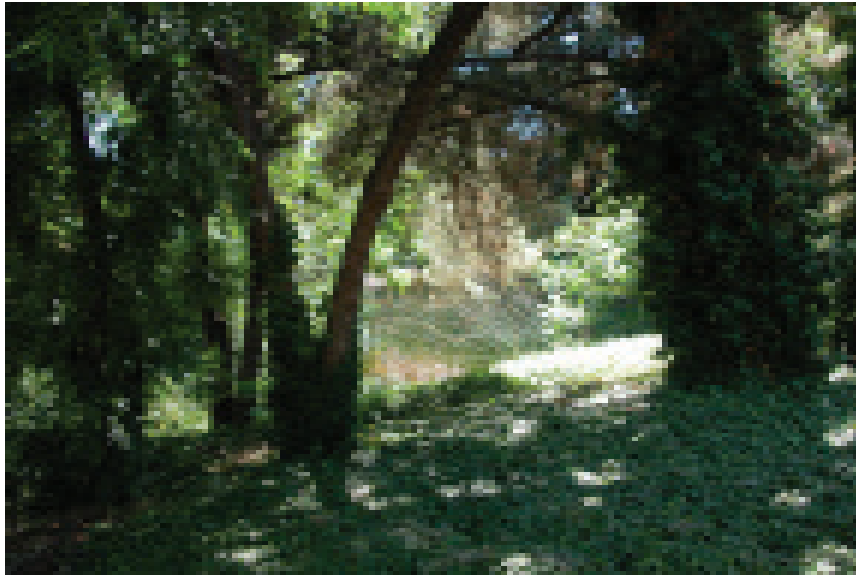
7.5.4 Community Gathering Spaces



Example of mural in the City of Dublin



Examples of murals on blank walls



The Alamilla Springs should be enhanced as cultural resource and public space



Dublin Creek should be improved as a biological resource and amenity for the Dublin Heritage center

7.5.4a Alamilla Springs

The Alamilla Springs is an important cultural and biological resource within the City of Dublin. The City should consider working with the property owner to renovate the remnant of the Springs and to appropriately honor the historical significance of the site. The City should work in partnership with the property owner to study the feasibility of restoring the Springs to a more natural state by removing non-native vegetation and planting appropriate wetland plants and trees.

7.5.4b Dublin Heritage Center and Pioneer Cemetery

The Dublin Heritage Center and Pioneer cemetery should be preserved as the core of Dublin Village. The City should consider enhancing the Center by improving the Dublin Creek Corridor as a natural resource and park amenity. The creek corridor could be improved by removing non-native vegetation and replanting the area with appropriate riparian plants and trees. Walking trails and benches could also be placed along the creek corridor if they are appropriately placed and designed to minimize impacts to sensitive habitats. The City should consider expanding the Dublin Heritage Center Cemetery to the southwest, across from Dublin Creek. A pedestrian bridge that crosses Dublin Creek could be installed to provide access to the area. If proposed, the bridge should be sited to avoid the removal of mature riparian trees. The construction of trails, seating areas, and a pedestrian bridge within the creek corridor would require coordination with the appropriate regulatory agencies.

7.5.4c Dublin Village Plaza

The City should encourage the creation of a small plaza at the southwest corner of Donlon Way and Dublin Boulevard to highlight

the importance of the area. The space could be highlighted with a highly visible fountain, monument, or piece of public art that reflects an aspect of Dublin’s local heritage. The space could be integrated with the primary gateway sign that is recommended for the area. In addition, a prominent building could be located at this site to “frame” the entrance to Donlon Way. The building could be a relocated historic building or a new structure that is designed to emulate the historic character and image of the area.

7.5.4d Future Parks

With the adoption of this Specific Plan, new parks and public spaces could be developed within Dublin Village. The Historic Park Master Plan will be designed to reinforce the historic character and image of Dublin Village, which would complement the area quite well.



Examples of a public plazas



Appropriate use of public art that represents a historic event

SECTION 8

INFRASTRUCTURE AND MAINTENANCE

SECTION 8.1: OVERVIEW

This section of the Specific Plan deals with providing adequate public utilities and facilities to support the amount of development anticipated for the Dublin Village Historic Area. Maintenance of public and private facilities is also addressed.

SECTION 8.2: WATER SYSTEM

Adequate water supply and pressure exists to serve the amount of development anticipated within the Specific Plan area. As part of development of individual new structures and/or redevelopment of existing structures, Dublin San Ramon Services District (DSRSD) and the City of Dublin will review water service and may require upgrading to meet current codes. The District will need to evaluate the system when specific project proposals are submitted.

SECTION 8.3: WASTEWATER FACILITIES

Because there are no intensification of land uses proposed as part of the Specific Plan, no capital improvements projects are required to occur as identified in the Wastewater Collection System Master Plan.

SECTION 8.4: STORMWATER DRAINAGE

The City of Dublin Public Works Department states that adequate facilities exist to accommodate future quantities of stormwater runoff from the project area. As part of development of individual new structures, improvements, and/or redevelopment of existing structures, the City of Dublin will review specific drainage conditions and may require upgrading of localized storm drain facilities to meet current City requirements.

SECTION 8.5: MAINTENANCE

Facilities within the Dublin Village Historic Area will be maintained through a combination of public entities as shown in Table 4.

Table 4: Facility Maintenance Responsibilities

Facility	Maintenance Entity	Comment
Public and Private Streets and Utilities		
Public street facilities	City of Dublin	Includes street paving and striping, traffic signals, traffic control signs, street signs, street lights, sidewalks
Bus benches and bus structures	City of Dublin	
Traffic signals	City of Dublin	
Underground utilities within public rights-of-way or dedicated easement	Appropriate utility provider	Includes water, sewer, drainage, natural gas, electricity, telecommunications
Open Space/Landscaping		
Parkways and medians-public streets	City of Dublin	Includes landscape and hardscape adjacent to streets
Project entries	City of Dublin	Includes entry signs, landscape and hardscape
Public park/plaza	City of Dublin	Includes all properties that are publicly-owned and have a Parks/Public Recreation land use designation

SECTION 9

SPECIFIC PLAN ADMINISTRATION AND IMPLEMENTATION

SECTION 9.1: INTRODUCTION

This section of the Specific Plan outlines methods for translating project objectives, the land use concept, circulation plans and other elements of the Specific Plan into reality. The primary method for implementation is capital improvement program projects undertaken by the City of Dublin, but also include review of private development plans including the subdivision of land.

Also addressed in this chapter are methods to amend the Dublin Village Historic Area Specific Plan.

SECTION 9.2: CAPITAL IMPROVEMENT PROGRAM (CIP)

Implementation of public improvements within the Specific Plan area will be primarily be funded through the City of Dublin Capital Improvement Program (CIP) budget. The City has currently allocated a total of \$1.42 million over the next three fiscal years (FY 2006/2007, 2007/2008, and 2008/2009) in CIP budget 96011 to pay for several improvements that have been identified in the Dublin Village Historic Area Specific Plan, and the City's Streetscape Master Plan.

Entitled the "West Dublin BART Station Corridor Enhancement" Project in the Dublin Capital Improvement Program, the funding is being provided for by a \$1.257 million grant from the Metropolitan Transportation Commission and is supplemented by the City's General Fund. Those improvements in this CIP that affect the Specific Plan area include:

1. Dublin Boulevard streetscape enhancement, including replacement of sidewalk tree grates, and installation of identity

markers, median and bridge railing treatment, and city entrance sign.

2. Improvements in the vicinity of Dublin Boulevard and Donlon Way, including a raised landscaped median, sidewalk bulbouts, and angled parking on Donlon Way.
3. Install and/or replace bus shelters along Dublin Boulevard.
4. Raise catch basin grates along Dublin Boulevard to improve rideability and bicycle safety.

Additional public improvements adjacent to the existing Dublin Heritage Center and any future park expansion area shall be installed at the time the park project is implemented.

SECTION 9.3 IMPLEMENTING ACTIONS FOR THE SPECIFIC PLAN

There are several implementing actions for the Dublin Village Historic Area Specific Plan that would be taken subsequent to the City Council's review and approval of the Specific Plan and related General Plan amendment. These actions include:

1. Approval of the Park and Recreation Master Plan 2006 Update, which will reflect and illustrate the newly-designated parkland.
2. Approval and implementation of the Dublin Historic Park Draft Master Plan, including all related streetscape improvements.
3. Amending Chapter 8.62 of the Dublin Zoning Ordinance, Historic Overlay Zoning District Site Development Review, to ensure that all development in the Historic Overlay Zoning District boundary (which is contiguous with the Specific Plan area boundary) is reviewed for substantial compliance with the Specific Plan instead

of the Dublin Village Design Guidelines. The Design Guidelines have been incorporated into this document as Section 7 for ease of use.

4. Amend the Zoning Map to change the zoning designation of those properties newly identified as Parks/Public Recreation.
5. Amending the San Ramon Road Specific Plan to remove two parcels within the Dublin Village Historic Area Specific Plan area from San Ramon Road Specific Plan (The Springs Apartments at 7100 San Ramon Road and Petco at 11865 Dublin Boulevard).
6. Consideration of using a historic building code for renovations to any structure listed on the Dublin Historic Resources Inventory.
7. In cooperation with the property owners, consider pursuing individual formal historic resource designations for Alamilla Springs and the Green Store.
8. Conduct a feasibility study and outreach to the property owners of the Springs Apartments to explore the possibility and cost implications of renovating and improving public access to Alamilla Spring.
9. Adherence to those mitigation measures outlined in the Initial Study/Mitigated Negative Declaration for the Specific Plan and related documents.

SECTION 9.4: NON-CONFORMING USES

Only permitted and conditionally permitted land uses, as identified in Section 5 of the Dublin Village Historic Area Specific Plan, shall be allowed. Land uses existing as of the effective date of this Specific Plan may continue to remain after the adoption of the Specific Plan, as allowed by Chapter 8.140 of the Dublin Zoning Ordinance, Non-Conforming Structures and Uses.

SECTION 9.5: REVIEW OF BUILDING PLANS

All proposed plans for new buildings, expansion of existing buildings and remodeling of existing buildings shall be submitted to the City of Dublin Community Development Department for review of consistency with the standards and requirements of the Dublin Village Historic Area Specific Plan and Chapter 8.62 of the Dublin Zoning Ordinance, Historic Overlay Zoning District Site Development Review.

SECTION 9.6: CONDITIONAL USE PERMITS AND VARIANCES

Conditional Use Permits and Variances, as may be required pursuant to this Specific Plan or the Dublin Zoning Ordinance, shall be submitted and reviewed in accord with Sections 8.100 (Conditional Use Permits) and Section 8.112 (Variances) of the Dublin Zoning Ordinance. Public hearings shall be conducted and findings shall be made pursuant to applicable provision of the Dublin Zoning Ordinance.

SECTION 9.7: SUBDIVISION OF LAND

Division of land into smaller parcels may be approved by the City of Dublin, so long as lot, dimensional, and other standards set forth in the Dublin Zoning Ordinance and other development regulations are met.

SECTION 9.8: ENVIRONMENTAL REVIEW

An Initial Study and Mitigated Negative Declaration (IS/MND) was prepared for the Dublin Village Historic Area Specific Plan as required by the California Environmental Quality Act (CEQA), State CEQA Guidelines, and the Dublin Environmental Guidelines. By the Initial Study, it has been determined that the project will not have a significant effect on the environment with the incorporation of mitigation measures outlined in the document and a Mitigated Negative Declaration was prepared. The Initial Study was circulated as required by law for a 30-day public review period,

and the City Council considered the IS/MND at the same time the Specific Plan was reviewed and approved.

The mitigation measures identified in the IS/MND have been incorporated into the project. Subsequent projects in the Specific Plan area will be reviewed to determine if additional environmental analysis is required.

SECTION 9.9: FEES

Proposals for new development are required to pay City of Dublin fees. These fees may include development impact fees. Other fees, including but not limited to those levied by Dublin San Ramon Services District (DSRSD), Zone 7 and other agencies as appropriate are due at the time building permits are issued by the City.

SECTION 9.10: SIGN PERMITS

Permits to install, construct, modify, or change signage within the Specific Plan area shall be subject to issuance of a sign permit by the Dublin Community Development Department and written permission from the property owner on which the sign is proposed to be located. Signage shall be reviewed for consistency with the standards and requirements of the Dublin Village Historic Area Specific Plan and Chapter 8.62 of the Dublin Zoning Ordinance (Historic Overlay Zoning District Site Development Review).

Applicable sign regulations shall be found in Chapter 8.84 of the Dublin Zoning Ordinance (Sign Regulations), Chapter 8.62 of the Dublin Zoning Ordinance (Historic Overlay Zoning District Site Development Review), and Section 7.2.3 of this Specific Plan.

SECTION 9.11 SPECIFIC PLAN PHASING

It is anticipated that there will be limited new construction in the Specific Plan area outside of the implementation of the Historic Park Master Plan,

and therefore the need to consider phased improvements for the overall area is unnecessary.

SECTION 9.12 SPECIFIC PLAN AMENDMENTS AND SUBSTANTIAL CONFORMITY

A major amendment to this Specific Plan requires the review and approval of the City of Dublin Planning Commission and the City Council. Major amendments are governed by applicable provisions of the California Government Code, which requires an application to be filed, along with necessary fees, stating in detail the reasons for the proposed amendment and any necessary supporting studies. Major amendments may be subject to additional environmental review pursuant to the California Environmental Quality Act (CEQA).

The City of Dublin Community Development Director may make determinations that minor technical changes or minor variations to the text or standards of the Dublin Village Historic Area Specific Plan are consistent with the intent of the Specific Plan. These typically include administrative approval of minor changes in the location of infrastructure facilities and modifications of up to 10% for any dimensional standard set forth in the Specific Plan. Approval of minor changes in substantial compliance may be appealed to the Dublin Planning Commission in accordance with Chapter 8.136 of the Dublin Zoning Ordinance (Appeals).

APPENDIX A:

LIST OF CURRENT PROPERTY OWNERS
AND THE ACCOMPANYING ASSESSOR'S
PARCEL MAP

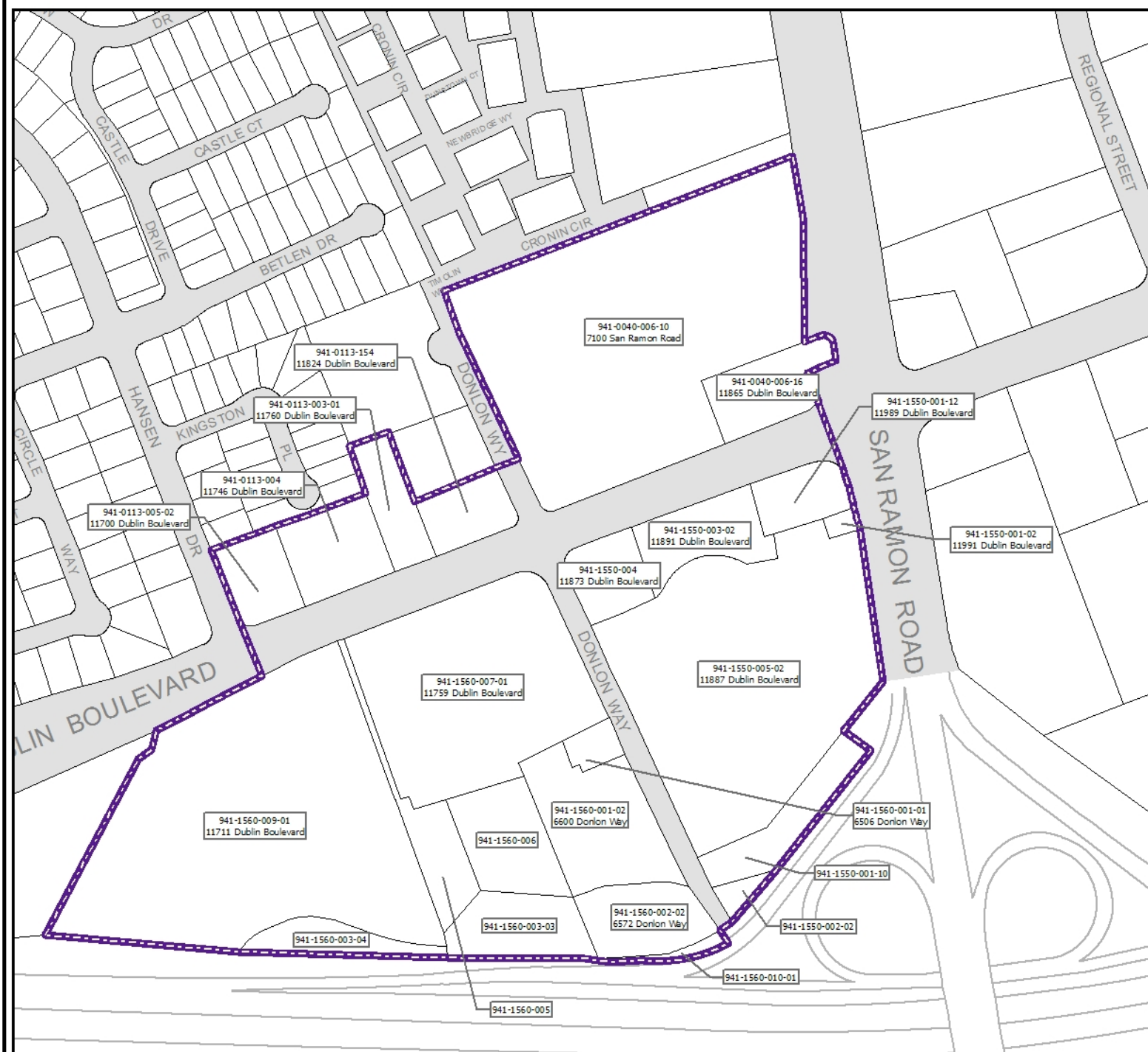
Property owners in the Specific Plan area
(per the Alameda County Assessor's Office as of July 7, 2007)

Assessor Parcel Number (APN)	Owner Names	Site Address
941-1560-009-01	Hexcel Corporation	11711 Dublin Boulevard
941-1560-003-04	Hexcel Corporation	Not available
941-1560-001-01	City Of Dublin	6506 Donlon Way
941-1560-001-02	City Of Dublin	6600 Donlon Way
941-1560-002-02	Hagan, Steven E & Susan E	6572 Donlon Way
941-0040-006-16	Delorenzo, Mario & Danyne A	11865 Dublin Boulevard
941-0113-003-01	Fang Yuan Development & Investment Corp	11760 Dublin Boulevard
941-0113-154	Hoffman, Donald N & Mavis W	11824 Dublin Boulevard
941-1550-001-02	P T & T Co 279-1-34-4	11991 Dublin Boulevard
941-1550-001-12	Equilon Enterprises Llc	11989 Dublin Boulevard
941-1550-003-02	Dambrosio Brothers Investment Company	11891 Dublin Boulevard
941-1550-004	TriValley Church Of Christ	11873 Dublin Boulevard
941-1550-005-02	Cranbrook Realty Investment Fund Lp	11887 Dublin Boulevard
941-1560-007-01	Berkeley Land Company Inc	11759 Dublin Boulevard
941-1560-006	City of Dublin	Not available
941-1560-005	City Of Dublin	Not available
941-1560-003-03	DHPA	Not available
941-1560-010-01	DHPA	Not available
941-1550-002-02	CalTrans	Not available
941-1550-001-10	CalTrans	Not available
941-0040-006-10	Dublin 9-10b Llc	7100 San Ramon Road
941-0113-005-02	Oleg and Linda Dubney	11700 Dublin Boulevard
941-0113-004	Burger Livermore Valley	11740, 11746 & 11750 Dublin Boulevard



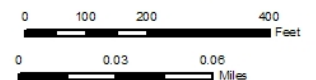
Dublin Village Historic Area Specific Plan

Assessor's
Parcel
Number



July 2007

NOTE: The internal system of
local streets shown in the figure
is illustrative only.



APPENDIX B:

SUMMARY OF MITIGATION MEASURES FROM THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Mitigation Monitoring Program Checklist

Draft Dublin Village Historic Area Specific Plan/General Plan Amendment, Draft Parks and Recreation Master Plan 2006 Update, Dublin Historic Park Draft Master Plan, and Dublin Village Historic Area Rezoning

Mitigation Measure	One time or Ongoing	Responsible for Implementation	Responsible for Verification	Form of verification	Initial/Date
Mitigation Measure 1: In accordance with City regulations, a project-specific Storm Water Pollution Prevention Program (SWPPP) shall be prepared in compliance with the City's NPDES permit. The SWPPP shall have the following minimum requirements: <ol style="list-style-type: none"> Active construction areas will be watered daily and more frequently if necessary. All trucks hauling soil, sand or other loose materials shall be covered. Water shall be applied daily, or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and exposed stockpiles at construction sites. All access roads and parking areas at construction sites shall be swept daily with water sweepers. 	Through the end of construction.	PW	PW	SWPPP on file	
Mitigation Measure 2: A biological survey shall be conducted by a qualified biologist prior to any disturbance within 150 feet of Dublin Creek (i.e. grading, construction of nearby pathways, construction of the creek foot bridge) and on the undeveloped DHPA parcel to verify that no special species are located in the area proposed for park expansion. Regulatory permits shall be obtained as necessary from the Fish and Wildlife Service, California Department of Fish and Game, Army Corps of Engineers, or State Water Resources Control Board as necessary, and in conjunction with the recommendations of the biological report.	One time prior to grading or construction.	PL and PCS	PL	Biological Survey on file and regulatory permits obtained.	
Mitigation Measure 3: As detailed engineering is developed for the design of the footings for the pedestrian footbridge over Dublin Creek as envisioned in the Dublin Historic Park Draft Master Plan, the City shall work with the appropriate regulatory agencies to ensure that impacts to the creek are minimized and addressed to the satisfaction of the agency.	Ongoing through agency approval.	PL and PCS	PL	Agency approvals	

Mitigation Measure	One time or Ongoing	Responsible for Implementation	Responsible for Verification	Form of verification	Initial/Date
Mitigation Measure 4: In High Archeological Probability Areas (including a 150 meter (493 foot) corridor centered on Dublin Creek and within the general vicinity of St. Raymond's Church, Pioneer Cemetery, and the Dublin Square Shopping Center site), the permitting of future ground disturbance shall include provisions for further archival and field study by an archeologist, archeological testing and, if necessary, archeological monitoring during construction.	Ongoing through ground disturbance and/or construction	PL and PCS	PL	Results of field study on file	
Mitigation Measure 5: Should preconstruction excavation or borings be conducted outside of the High Archeological Probability Areas, but within the project area, a qualified archeologist shall monitor the work to define the presence or absence of buried resources in order to promote advance planning for mitigation purposes.	Ongoing through ground disturbance and/or construction	PL and PCS	PL	Contract with archeologist	
Mitigation Measure 6: If a Native American artifact or human remains are identified during any demolition or construction in the project area, work on the project shall cease immediately until those steps outlined in CEQA Guidelines Section 15064.5 (e) can be taken to the satisfaction of the Dublin Community Development Director. Project work may be resumed in compliance with the requirements of Section 15064.5 (e). Additionally, the County Coroner shall be contacted immediately and Section 7050.5(b) of the California Health and Safety Code (relating to the discovery of Native American remains) should be implemented.	Ongoing through ground disturbance and/or construction	PL and PCS	PL		
Mitigation Measure 7: If an archeological, prehistoric, or paleontological resource is discovered during any demolition or construction in the project area, work on the project shall cease immediately until a resource protection plan conforming to CEQA Guidelines Section 15064.5 (f) is prepared by a qualified archeologist and approved by the Dublin Community Development Director. Project work may be resumed in compliance with such plan.	Ongoing through ground disturbance and/or construction	PL	PL		
Mitigation Measure 8: Future roadwork or subsurface construction and maintenance within the Donlon Way road right of way and the portion of Dublin Boulevard within the project area shall include	Ongoing through ground disturbance	PW	PL		

Mitigation Measure	One time or Ongoing	Responsible for Implementation	Responsible for Verification	Form of verification	Initial/Date
protocol for inadvertent discoveries made during construction, including the development of a resource protection plan conforming to CEQA Guidelines Section 15064.5 (f), prepared by a qualified archeologist and approved by the Dublin Public Works and Community Development Directors. In the event of a discovery, project work may be resumed in compliance with such plan.	and/or construction				
Mitigation Measure 9: A site-specific soils report/geotechnical investigation shall be required for any development proposal in the project area and shall be conducted by a California-registered geologist or a California-registered engineering geologist. The report shall address the potential for expansive soils and ground liquefaction. Specific measures to reduce seismic hazards, expansive soils, and liquefaction hazards to a less than significant level shall be included in the report and those measures shall be implemented as part of the site development.	One time for each new development proposal	Building	PL	Soils report on file	
Mitigation Measure 10: Prior to demolition of any building in the project area, the building shall be sampled to determine if the building contains lead paint and/or asbestos. If either of the materials are determined to be present, they shall be handled and disposed of as a hazardous material and in compliance with all applicable local, state, and federal regulations	One time for each building proposed to be demolished	Building, BAAQMD	Building, PL	Job number issued by BAAQMD prior to City demolition permit issuance	

APPENDIX C:

**CALIFORNIA STATE DEPARTMENT OF
PARKS AND RECREATION FORM 523
FOR HISTORIC RESOURCES ("DPR
FORM") FOR ALL PROPERTIES LISTED
ON THE DUBLIN HISTORIC RESOURCES
INVENTORY**

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 1 of 2 Resource name(s) or number (assigned by recorder) Old St. Raymond's Church

P1. Other Identifier: None

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Alameda

*b. USGS 7.5' Quad: Dublin, CA

Date: 1979

*c. Address 6600 Donlon Way

City Dublin

Zip 94568

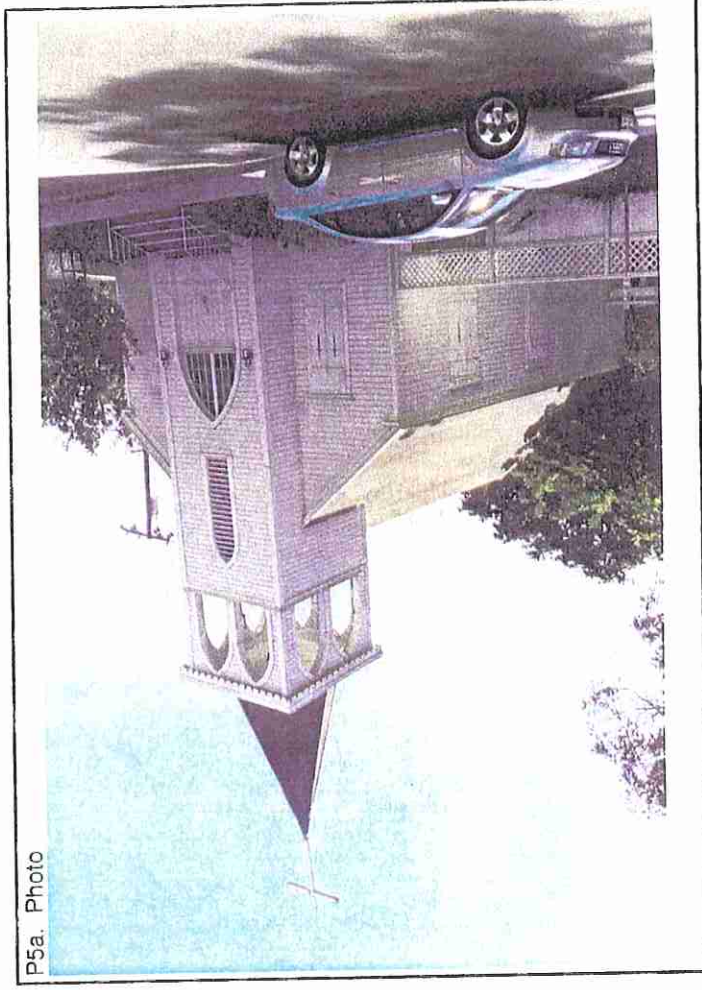
*e. Other Locational Data: Block: 941-1560

Lot: 1-1

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) Old St. Raymond's is located on the west side of Donlon Way between Dublin Boulevard and I-580 in Dublin. The parcel borders Dublin Pioneer Cemetery to the west, Dublin Heritage Center to the south and the 1960s-era Dublin Square shopping center to the north. The former church sits on a small rectangular lot with trees and landscaping, including a tremendous Eucalyptus tree on the south side. Old St. Raymond's is a one-story, wood-frame building with a rectangular plan measuring 37'- by 55', clapboard walls, a steeply pitched gable roof and a square, three-story tower. The tower stands at the center of the symmetrical façade. The east wall of the tower is articulated by a Gothic pointed arch opening at the first floor level. The opening, accessed by a flight of five stairs, is the primary entrance to the building and contains a pair of paneled doors. The doors are surmounted by a transom window within the pointed arch. The second floor level of the tower façade is punctuated by a narrow arched opening infilled with louvers. The third floor level consists of the belfry, which is articulated by pairs of unglazed pointed arched openings on each wall. The belfry terminates in a scalloped wood cornice and it is capped by an octagonal steeple. On the façade, the tower is flanked to either side by rectangular casement windows concealed behind wood plank shutters incised with crosses. The façade terminates in simple raking cornice moldings. The north and south façades are clapboarded and articulated by three rectangular casement windows capped by classically detailed hood moldings. A wheelchair ramp is located on the north wall and an enclosed garden area is located south of the building. The building appears to be in good condition.

*P3b. Resource Attributes: (list attributes and codes) HP 16: Religious Building, HP 13: Community Center

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Photo: (view and date)
September 4, 2003

*P6. Date Constructed/Age and

Sources: ☒ Historic
1859/Diocese of Oakland

*P7. Owner and Address:

City of Dublin
100 Civic Plaza
Dublin, California 94568

*P8. Recorded by:

Christopher VerPlanck
Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108

*P9. Date Recorded:

September 12, 2003

*P10. Survey Type:

Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none") Virginia Smith Bennett, *Dublin Reflections*, rev. ed. 1991.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

Primary # _____

HRI# _____

*CHR Status Code 3D

*Resource Name or # Old St. Raymond's Church

- B1. Historic name: St. Raymond's Catholic Church
B2. Common name: Old St. Raymond's
B3. Original Use: Church B4. Present use: Public Assembly Space, Wedding Chapel
*B5. **Architectural Style:** Gothic Revival, aka "Carpenter Gothic"
*B6. **Construction History:** (Construction date, alterations, and date of alterations)
Old St. Raymond's was built between 1858 and 1859. The tower and belfry were added Ca. 1880. The building has been restored at least twice: once in 1938 and again in 1970.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____
*B8. Related Features: Dublin Pioneer Cemetery

B9a. Architect: Unknown

b. Builder: Tom Donlon, etc.

- *B10. Significance: Theme Architecture, Exploration/Settlement Area Dublin Village
Period of Significance 1835-1935 Property Type Religious Building Applicable Criteria A & C
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)
St. Raymond's Church was built in 1859 to serve the growing Irish immigrant population of the Amador Valley. St. Raymond's was constructed by members of several local pioneer families, including the Murrays, Fallons and Donlons. Irish immigrant Tom Donlon did much of the construction before he was killed in 1859 when he fell from the roof. St. Raymond's was consecrated in 1860 by Archbishop Alemany of San Francisco and Brother Federa of Mission San Jose. From 1859 through 1864, priests came from St. Mary's in Oakland to officiate at St. Raymond's. From 1864 until 1878, St. Raymond's was a mission of St. Leander's in San Leandro. In 1878 St. Raymond's became part of the Livermore Parish and remained so until 1901 when Father Thomas McNaboe, pastor of Mission San Jose, began officiating at St. Raymond's. In 1880 a belfry was added to the church and in 1938 the residents of Dublin raised money to restore the then eighty-year old church. Work included installing a new foundation, repairing the steeple and painting. By 1950 the Church was only opened for special occasions and by 1961 the structure had deteriorated markedly following the construction of a new church on San Ramon. Plans were made to burn Old St. Raymond's as part of a training exercise in 1964. Local citizens protested and began to raise money for restoration. On September 9, 1967, Old St. Raymond's was designated Alameda County Historical Site #001 and on March 30, 1968 the Diocese of Oakland transferred the building to the Amador-Livermore Valley Historical Society. In 1993 the City of Dublin purchased the building. Since then the former church has been rented it out for weddings and community events. Old St. Raymond's is eligible for listing in the *California Register* under Criteria 1 and 3 and in the *National Register* under Criteria A and C. It is significant under Criterion A (Events) as the oldest Catholic Church in Alameda and Contra Costa Counties and one of the first buildings constructed in Dublin. It is also significant under Criterion C (Architecture) as an excellent example of a very early wood-frame "Carpenter Gothic" chapel in California.

B11. Additional Resource Attributes: (List attributes and codes) _____

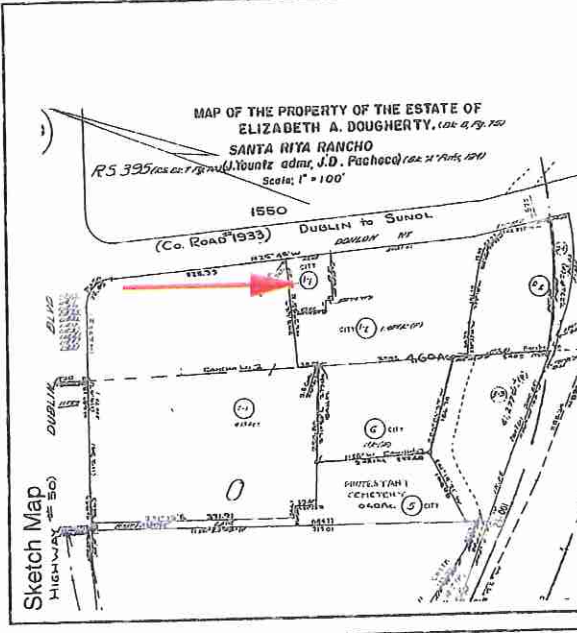
*B12. References: Alameda County Assessor/Recorder's Office, Dublin Heritage Center, Dublin Main Library Archives

B13. Remarks:

*B14. Evaluator: Christopher VerPlanck

*Date of Evaluation: September 23, 2003

(This space reserved for official comments.)



*Required information

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings
Review Code _____

Reviewer _____ Date _____

Page 1 of 2 Resource name(s) or number (assigned by recorder) Old Murray School

P1. Other Identifier: Dublin Heritage Center

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Alameda

*b. USGS 7.5' Quad: Dublin, CA

Date: 1979

*c. Address 6600 Donlon Way

City Dublin

Zip 94568

*e. Other Locational Data: Block: 941-1560 Lot: 1-2

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) The Old Murray School is located on the west side of Donlon Way between Dublin Boulevard and I-580 in West Dublin. The parcel borders the historic Dublin Pioneer Cemetery to the west, Old St. Raymond's to the north and Dublin Creek to the south. The Old Murray School is a one-story, wood-frame building with an L-shaped plan, steeply pitched gable roof, rustic channel siding and a square, three-story bell tower. The bell tower, which was reconstructed from historic photographs in 2003, stands at the center of the north-facing façade. The bell tower features an open porch at the first floor level that is accessed by a flight of wood stairs. The porch shelters the entrance, which consists of a pair of paneled doors and an arched transom window. The second story level of the bell tower is articulated by a pair of segmental arch windows infilled with louvers. The windows are flanked by plain pilasters and surmounted by a large bull's eye molding. Simple Gothic brackets featuring small quatrefoil motifs spring from the top of the pilasters and visually support a broken entablature. The bell tower is capped by an open lantern articulated by pairs of segmental arched openings. The rest of the façade is quite simple, with two-over-two double-hung windows flanking the porch. Projecting from the west wall of the main body of the building is a one-story addition constructed circa 1900. The north façade of the addition is six bays wide. The addition is capped by a side-facing steeply pitched gable roof. Stylistically the Old Murray School is a blend of Greek Revival and Carpenter Gothic elements. The interior consists of a restored classroom, now accommodating exhibits and associated offices and meeting rooms. The Old Murray School appears to be in excellent condition.

*P3b. Resource Attributes: (list attributes and codes) HP 15: Educational Building, HP 13: Community Center

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other

P5a. Photo



P5b. Photo: (view and date)
April 7, 2003

*P6. Date Constructed/Age and

Sources: ☒ Historic

1856: Virginia Smith Bennett, *Dublin Reflections*.

*P7. Owner and Address:

City of Dublin
100 Civic Plaza
Dublin, California 94568

*P8. Recorded by:

Christopher VerPlanck
Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108

*P9. Date Recorded:

September 16, 2003

*P10. Survey Type:

Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none") Virginia Smith Bennett, *Dublin Reflections*, rev. ed. 1991.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

Primary # _____
HRI# _____

*CHR Status Code 3D

*Resource Name or # Old Murray School

B1. Historic name: Old Murray School

B2. Common name: Dublin Heritage Center

B3. Original Use: School B4. Present use: Museum/Offices

*B5. Architectural Style: Blend of Greek Revival and "Carpenter Gothic"

*B6. Construction History: (Construction date, alterations, and date of alterations)

The Old Murray School was built in 1856. Around 1900 the one-story wing added. Circa 1940 the original belfry tower was removed. In 1975, facing demolition as a result of the widening of I-580, the Old Murray School was moved to its present site and restored by Dublin Historic Preservation Association for use as the Dublin Heritage Center. In 2003 the missing bell tower was reconstructed.

*B7. Moved? ☐ No ☒ Yes ☐ Unknown Date: _____ Original Location: Martinez-Mission San Jose County

Road

*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Architecture, Exploration/Settlement

Area Dublin Village

Period of Significance 1835-1935 Property Type Educational Building Applicable Criteria A & C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity) According to local tradition, the Old Murray School was built in 1856 on the lands of James Dougherty. However, it does not appear on the 1862 plat of Rancho Santa Rita or Rancho San Ramon. The building first appears on John Green's land on the 1876 tract map of the Jeremiah Fallon Estate. The site faced the Martinez-Mission San Jose County Road (now Foothill Boulevard) just south of what is now I-580. In 1866 the Murray School District was formed encompassing all of what is now Dublin and Pleasanton. Throughout most of its history the Old Murray School served as a one-room schoolhouse housing all eight grades. Around 1900 a wing was added to accommodate students in the first through fourth grades. Until the school closed in 1952, enrollment remained fairly constant at forty-five to fifty students. Around 1940 the bell tower was demolished. In 1952 the Primitive Baptist Church bought the property and used it as a church until 1975 when the widening of I-580 threatened the building with destruction. In November 1975, the Dublin Historic Preservation Association worked to designate the building a California Point of Historical Interest and moved the building to its present site. After almost two years of site improvements and restoration work, the Old Murray School was reopened as the Dublin Heritage Center on October 15, 1977. In October 1993 the City of Dublin purchased the Old Murray School and a decade later the City restored the building and reconstructed the missing bell tower. The Old Murray School appears to be eligible for listing in the *California Register* under Criteria 1 and 3 and the *National Register* under Criteria A and C. Applying Criterion Consideration B: Moved Properties, the Old Murray School still appears to be eligible. The building is of overriding significance as the oldest surviving school in eastern Alameda County and one of a handful of surviving structures from the pioneer settlement of Dublin.

B11. Additional Resource Attributes: (List attributes and codes)

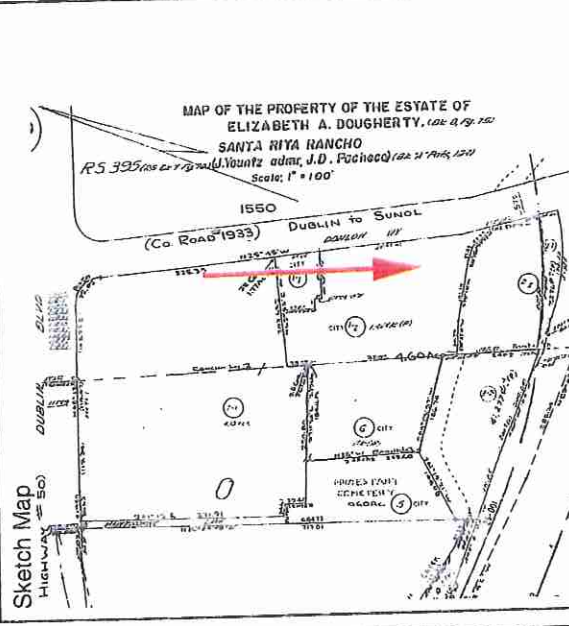
*B12. References: Alameda County Assessor/Recorder's Office, Dublin Heritage Center, Dublin Main Library Archives

B13. Remarks:

*B14. Evaluator: Christopher VerPlanck

*Date of Evaluation: September 16, 2003

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings
Review Code _____

Reviewer _____ Date _____

Page 1 of 2 Resource name(s) or number (assigned by recorder) Green's Store

P1. Other Identifier: Tri-Valley Church of Christ

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Alameda

*b. USGS 7.5' Quad: Dublin, CA

Date: 1979

*c. Address 11873 Dublin Boulevard

City Dublin

Zip 94568

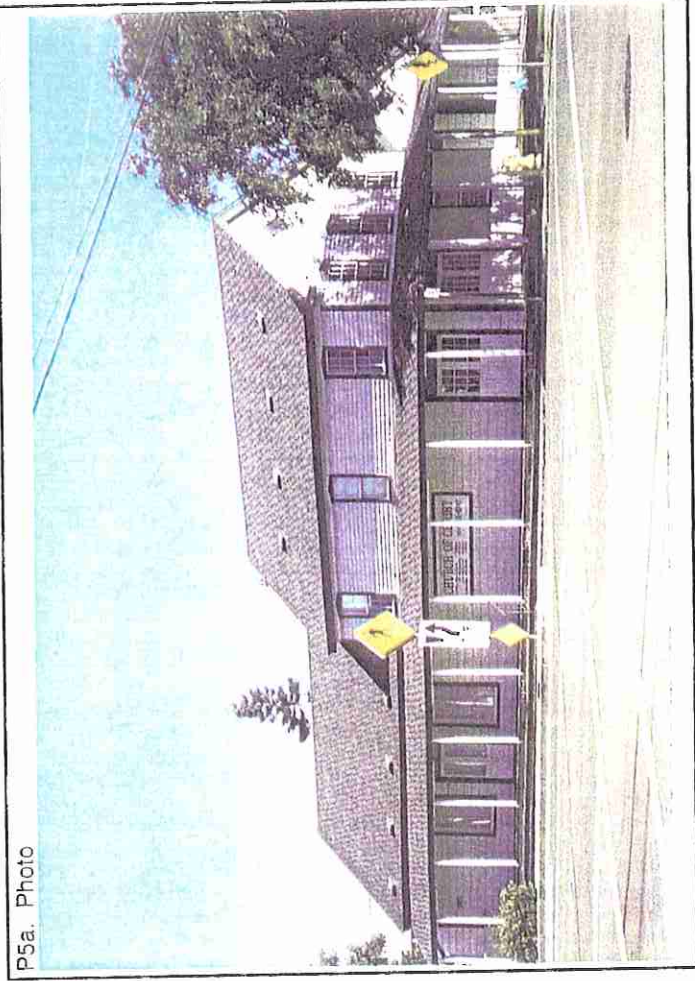
*e. Other Locational Data: Block: 941-1550 Lot: 4

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) Green's Store sits on a 26,062 square foot lot on the southeast corner of Dublin Boulevard and Donlon Way. The building is a two-story, 1,200 square-foot plank-frame structure with a rectangular plan and a front-facing gable roof. A 1,900 square-foot, one-story wood-frame addition is located to the south of the existing building. The first floor of Green's Store is clad in rustic channel siding and the second floor is clad in clapboard. Green's Store features a one-story historic addition to the rear. The façade faces Donlon Way and it is three bays wide. The first floor is sheltered beneath a shed-roofed porch which extends around the north wall. Access to the building interior is provided by a pair of glazed panel doors in the left bay of the façade. The second floor of the façade is articulated by three double-hung windows with shallow pedimented hood moldings. A diamond-shaped window is located in the gable at the attic story level. The façade is capped by a broken entablature and a raking cornice molding. The north façade is six bays wide and faces Dublin Boulevard. The north facade features two pairs of doors and two windows at street level and three windows on the second floor level. Built in 1860, Green's Store underwent several major alterations during the 1930s, namely the enclosure of the front porch and the replacement of wood siding with stucco. The building was restored to its 1914 appearance in 1981. The 1981 addition to the south was designed to be in keeping with the original structure. A fence south of the addition bounds a landscaped parking area. Green's Store appears to be in good condition.

*P3b. Resource Attributes: (list attributes and codes) HP6: 1-3 Story Commercial Building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other

P5a. Photo



P5b. Photo: (view and date)
September 4, 2003

*P6. Date Constructed/Age and

Sources: ☒ historic

1860: J.P. Munro Fraser: *History of Alameda County*, 1883); Thompson & West: *Ill. Atlas of Alameda Co.*, 1878.

*P7. Owner and Address:

Tri-Valley Church of Christ
11873 Dublin Boulevard
Dublin, California 94568

*P8. Recorded by:

Christopher VerPlanck
Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108

*P9. Date Recorded:

September 16, 2003

*P10. Survey Type:

Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none") Virginia Smith Bennett, *Dublin Reflections*, rev. ed. 1991.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

Primary # _____

HRI# _____

*CHR Status Code 3D

*Resource Name or # Green's Store

B1. Historic name: Green's Store

B2. Common name: Tri-Valley Church of Christ

B3. Original Use: Store, Post Office and Library

B4. Present use: Church

*B5. Architectural Style: Vernacular/Greek Revival

*B6. Construction History: (Construction date, alterations, and date of alterations)

Green's Store was built in 1860 by John Green. Considerably altered in the 1930s, the building was restored and added on to in 1981.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

B9a. Architect: Unknown

b. Builder: John Green?

*B10. Significance: Theme Architecture, Exploration/Settlement

Area Dublin Village

Property Type General Store Applicable Criteria A & C

Period of Significance 1835-1935 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The recorded history of Green's Store began with the granting of the 16,517-acre Rancho San Ramon to Jose Maria Amador in 1835 and the 8,885-acre Rancho Santa Rita to Jose Dolores Pacheco in 1839. In 1852 Irish-born pioneer settlers Michael Murray and Jeremiah Fallon purchased 250 and 246 acres respectively from Amador and Pacheco. Murray became a successful rancher and local leader, becoming county supervisor of the newly established Murray Township in 1860. Between 1860 and 1863, Murray sold his property to John Green and moved to San Francisco. Green, a fellow Irish immigrant who had come to the Amador Valley in 1857, had constructed Green's Store on its present site in 1860. Available at the store were all the goods one could possibly need in a rural area such as overalls, tools, kerosene, sugar, provisions, newspapers, etc. Green operated his general store and post office until 1894 when he sold the business (but not the property) to George Kolb. In 1906 the post office ceased operation when rural free delivery service was initiated in eastern Alameda County. In 1912, William Lawrence bought Green's Store and ran it until his death in 1915. It was during this period that the Dublin Free Library was established in the one-story addition to the rear of the building. From 1915 until 1917 Green's Store was operated by Rudolph Nielson and John Cronin and from 1918 until 1923 Arthur Reimers ran it. In 1923 Henry Bevelacqua purchased the store and ran it until 1943. During his tenure he added a lunch stand that sold hot dogs, sandwiches and beer. It was during this time that the building was stuccoed and the front porch enclosed. After 1943 Green's Store was taken over by Frank Donahue, a descendant of John Green. In 1947 the store was converted into a saloon called The Village Saloon. By the late 1970s the building, which now belonged to a speculator named J. Weightman, had deteriorated to such a point that it was threatened with demolition. In response the Dublin Historic Preservation Association lobbied to have Green's Store designated a State Historical Point of Interest in 1978. In 1981 new owner Gus Nicandros rehabilitated Green's Store to its appearance in 1914 and constructed the addition to its south. Green's Store appears to be eligible for listing in the *California Register* under Criteria 1, 2 and 3 and in the *National Register* under Criteria A (Events), B (Persons) and C (Architecture). Under Criterion A, the building is significant as one of the earliest buildings surviving from pioneer days of Dublin. Under Criterion B the building is significant for its association with important pioneer John Gree. Under Criterion C, it is significant as a very early and quite rare plank frame structure characteristic of early vernacular construction in California.

B11. Additional Resource Attributes: (List attributes and codes)

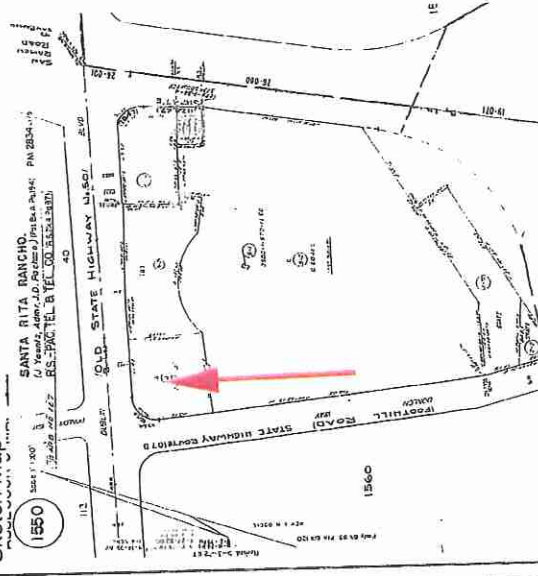
*B12. References: Alameda County Assessor/Recorder's Office, Dublin Heritage Center, Dublin Main Library Archives

B13. Remarks:

*B14. Evaluator: Christopher VerPlanck

(This space reserved for official comments.)

Sketch Map



*Date of Evaluation: September 16, 2003

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____

Date _____

Reviewer _____

Page 1 of 2 Resource name(s) or number (assigned by recorder) 7100 San Ramon Road

P1. Other Identifier: The Springs Apartments, Alamilla Springs

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Alameda

*b. USGS 7.5' Quad: Dublin, CA

Date: 1979

*c. Address: 7100 San Ramon Road

City Dublin

Zip 94568

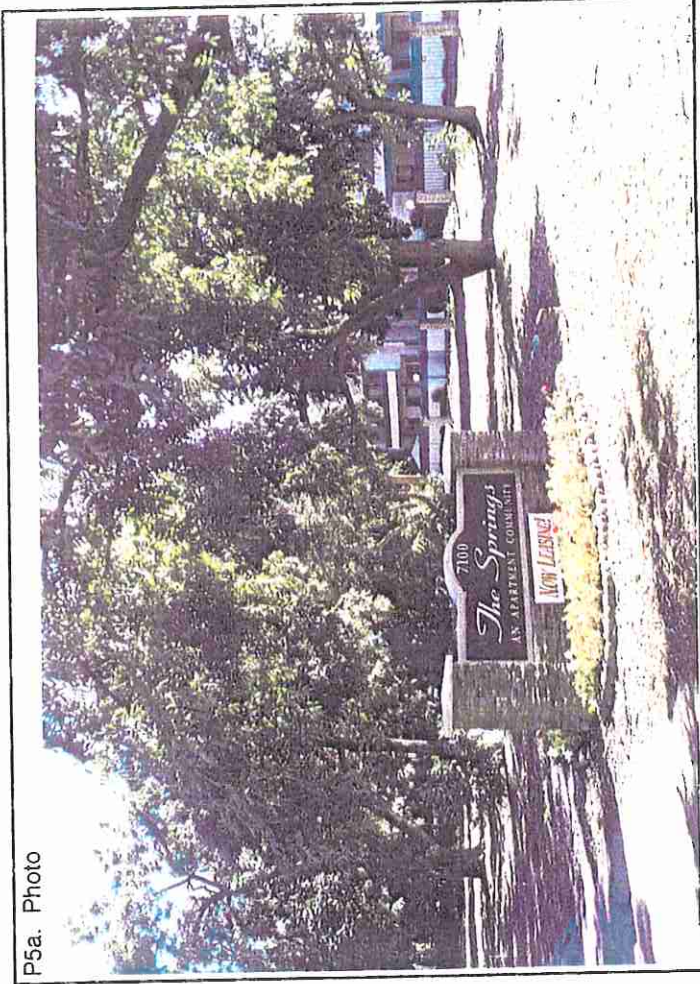
*e. Other Locational Data: Block: 941-40 Lot: 6-16

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) 7100 San Ramon Road is a large eleven-building, 176-unit apartment complex located on an 8-acre lot near the northwest corner of Dublin Boulevard and San Ramon Road. The property is also bounded by Donlon Way on the west, an apartment complex and skating rink to the north and the Petco site to the south. Each building in the complex houses sixteen units and has a dumbbell shaped plan with open exterior porches. A row of car ports lines the northern and southern property lines. The apartments are functional in appearance and finished in inexpensive wood siding with aluminum sliding windows and solid-core paneled doors. Buildings and surface parking occupy the bulk of the property, although a three-quarter acre-size section containing the historic Alamilla Springs and some walnut and oak trees buffers the buildings from busy San Ramon Road. Alamilla Springs, a natural spring fed depression is located near the southeast corner of the property. The spring channel is approximately 75' long and 12' wide. The bed trends in an easterly direction and is partially filled at its west end with landfill. The rest of the channel is choked with cat tails and pond weed. The eastern end of the channel terminates at a concrete retaining wall that supports a bicycle path running along the east side of San Ramon Road. A box culvert diverts water from the spring beneath San Ramon Road. The banks of the channel are lushly vegetated with redwoods, walnuts, oaks and willows. A large mature palm stands near the southwest corner of the spring. This tree may have originally been planted adjacent to the Dougherty House which originally stood on the property. To the north of the spring is what remains of a walnut grove that the Nield family planted on the property in the 1940s. A historical marker on the sidewalk marks the location of Alamilla Springs.

*P3b. Resource Attributes: (list attributes and codes) HP3: Multiple Family Property; HP30: Trees/Vegetation; HP39: Natural Springs; AH3: Landscaping/Orchard, HP26: Monument

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other

P5a. Photo



P5b. Photo: (view and date)
September 4, 2003

*P6. Date Constructed/Age and

Sources: ☒ Historic

1979: Building Records, Alameda County Department of Public Works

*P7. Owner and Address:

Dublin Springs, Inc./Neva Spears
7100 San Ramon Road
Dublin, California 94568

*P8. Recorded by:

Christopher VerPlanck
Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108

*P9. Date Recorded:

September 16, 2003

*P10. Survey Type:

Intensive Survey

P11. Report Citation: (Cite survey report and other sources, or enter "none") Virginia Smith Bennett, *Dublin Reflections*, rev. ed. 1991.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

Primary # _____

HRI# _____

*CHR Status Code 6Z (buildings), 3S (springs)

*Resource Name or # 7100 San Ramon Road

B1. Historic name: Amador/Dougherty/Niedt Homestead

B2. Common name: The Springs

B3. Original Use: Ranch B4. Present use: Apartments

*B5. Architectural Style: Contemporary

*B6. Construction History: (Construction date, alterations, and date of alterations)

The apartment complex at 7100 San Ramon Road was constructed in 1979 by Blackwell Homes of Campbell.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

B9a. Architect: James F. Riley

b. Builder: Blackwell Homes

*B10. Significance: Theme Architecture, Exploration/Settlement Area Dublin Village

Period of Significance 1835-1935 Property Type Springs Applicable Criteria A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The recorded history of the site begins in 1835 when the 16,517-acre Rancho San Ramon was granted to Jose Maria Amador. Amador built a two-story Monterey-style adobe and outbuildings on the site around 1830. In 1853 James Witt Dougherty arrived in what is now Dublin and purchased 10,000 acres of Rancho San Ramon from Amador, including the subject property. In 1861, a major earthquake on the Calaveras fault (which runs under the property), destroyed the Amador adobe, compelling Dougherty to build a new frame house for his family. Following his death in 1879, James' son Charles inherited the property. Following the death of Dougherty's wife Elizabeth in 1891, the 17,000 acres ranch was surveyed and subdivided. In 1906, Danish immigrants John and Amelie Niedt purchased the 10-acre Plot R from Charles Dougherty and moved into the old Dougherty house. By the end of the First World War, the Niedts had built a small refreshment stand and service station (Dublin Service Station) on the northeast corner of Dublin Canyon Road and Donlon Way. In the 1930s they built an eyecatching lunchroom designed to resemble a tipi on the northwest corner of Dublin Canyon Road and San Ramon Road. Following the death of John Niedt in 1949, his daughter Mrs. Bertha Niedt Hilton and her children moved into the old Dougherty House, caring for a newly planted walnut grove. In 1955 they built a ranch style dwelling on the northern part of the property and moved out of the old Dougherty House. The old Dougherty home remained on the site until the Fire Department burned it to the ground in 1967 as part of a training exercise. The 1955 residence remained intact on the property until 1979 when Blackwell Homes bought the parcel and redeveloped it with apartments. After facing pressure from local preservationists, Blackwell Homes set aside three-quarters of an acre on the eastern side of the parcel to preserve a portion of Alamilla Springs and the Niedt family's walnut grove. The undeveloped portion of 7100 San Ramon Road appears to be eligible for listing in the *California Register* under Criterion 1 and the *National Register* under Criterion A as the location of Alamilla Springs, the historical nexus of Dublin. The rest of the property is ineligible for listing.

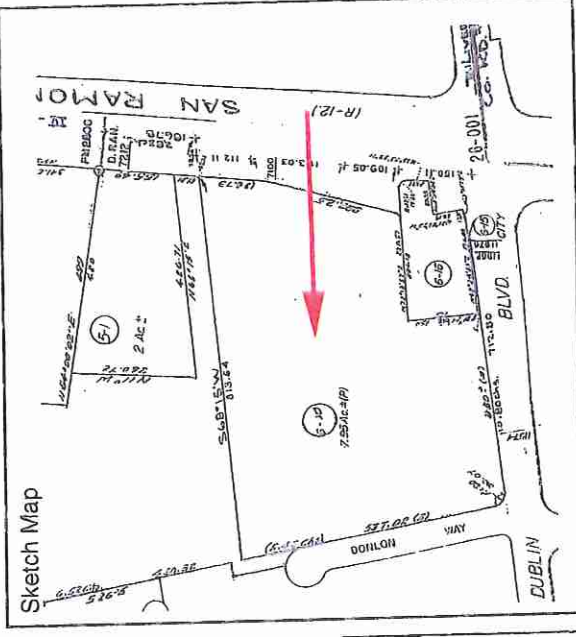
B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References: Alameda County Assessor/Recorder's Office,
Alameda County of Public Works, Dublin Heritage Center, Dublin Main
Library Archives

B13. Remarks:

*B14. Evaluator: Christopher VerPlanck

*Date of Evaluation: September 16, 2003



(This space reserved for official comments.)

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings
Review Code _____ Reviewer _____ Date _____

Page 1 of 2 Resource name(s) or number (assigned by recorder) 11760 Dublin Boulevard

P1. Other Identifier: Bonde House

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*b. USGS 7.5' Quad: Dublin, CA

*c. Address 11760 Dublin Boulevard

*e. Other Locational Data: Block: 941-113 Lot: 3-1

*a. County Alameda

Date: 1979

City Dublin

Zip 94568

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) The Bonde House at 11760 Dublin Boulevard is a one-story, "L" plan Craftsman bungalow with a shallow-pitch cross-gabled roof. The walls are clad in clapboard siding and the roof in asphalt shingles. The dwelling and its associated outbuildings are situated on a 94' x 305' lot on the north side of Dublin Boulevard, between Donlon Way and Hansen Drive. The façade faces south onto Dublin Boulevard. A front-facing gable-roofed porch, which appears to have been infilled, is supported by stuccoed pylons. The porch roof, as well as the soffits of the side-facing gable roof are supported by angled struts. The typanum features a characteristically Craftsman-style vent at its apex. The façade is comprised of a tripartite window in the easternmost bay and an entrance in the west bay. Although the trim is original, the windows have been replaced with modern units with false muntins. The east and west walls have undergone fewer alterations. The west wall features a brick chimney and double-hung windows. The east wall features a projecting inglenook and an assortment of fenestration types. Behind the bungalow is a storage shed and a classroom addition moved to the site in 1979. 11760 Dublin Boulevard appears to be in good condition.

*P3b. Resource Attributes: (list attributes and codes) HP2: Single Family Property; HP6: 1-3 Story Commercial Building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other

P5a. Photo



P5b. Photo: (view and date)
September 4, 2003

*P6. Date Constructed/Age and Sources: ☒ Historic
Ca. 1920: County Maps, Historic Photographs at the Dublin Heritage Center

*P7. Owner and Address:
Fang Yuan Development &
Investment Company
11760 Dublin Boulevard
Dublin, California 94568

*P8. Recorded by:
Christopher VerPlanck
Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108

*P9. Date Recorded:
September 16, 2003

*P10. Survey Type:
Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none") None

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

*CHR Status Code 5S2

*Resource Name or # 11760 Dublin Boulevard

- B1. Historic name: Bonde House
B2. Common name: Little Kid's Learning Center
B3. Original Use: Residence B4. Present use: Day Care Center
*B5. Architectural Style: Craftsman Bungalow
*B6. Construction History: (Construction date, alterations, and date of alterations)
11760 Dublin Boulevard was built Ca. 1920. It was remodeled for use as a day care center in 1979.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____
*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Architecture, Exploration/Settlement Area Dublin Village
Period of Significance 1835-1935 Property Type Residence Applicable Criteria _____

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The recorded history of the Bonde House began in 1835 when Governor Jose Figueroa granted the 16,517-acre Rancho San Ramon to Jose Maria Amador. In 1853 James Witt Dougherty and his family came to the Amador Valley and purchased 10,000 acres from Amador for \$22,000. Dougherty ran cattle on his vast holdings throughout much of the nineteenth century. In 1879 Dougherty died, leaving his holdings to his son Charles and wife Elizabeth. In 1891, following Elizabeth's death the ranch was subdivided and gradually sold off to small landholders, many of whom were recent Danish immigrants. In 1907 John Bonde purchased the southwest corner of Plot Q of the Dougherty Ranch. The lot measured 94' x 303'. Bonde, a Danish immigrant, had come to Dublin in 1895 where he got a job running the inn, Dougherty's Station. Bonde eventually purchased the adjoining property comprising four acres, including the old inn from the Dougherty family. Around 1920 he built the existing bungalow on the southwestern corner of his property and the Amador Garage on the eastern part of the lot. During the 1950s the property was purchased by George and Gladys Lydiksens. The Lydiksens, also Danish-Americans, converted the former garage and service station into a manufacturing facility. They continued to live in the Bonde House until 1977 when they sold it to John E. and Barbara J. Olsen and J. E. and Elaine L. Reavis. Barbara Olsen and Elaine Reavis converted the house into a day care center in 1979 and it has served this function until today. The Bonde House does not appear to be eligible for listing in the *California* or the *National Register*, although it does have value as perhaps the oldest extant dwelling in Dublin. It merits protection and the local level.

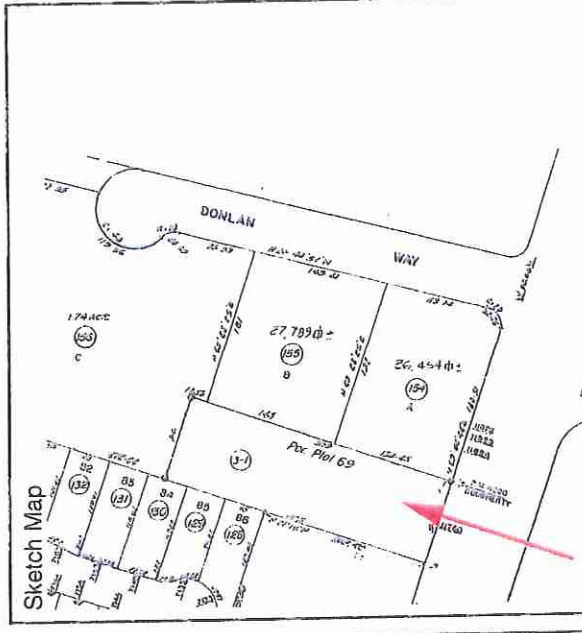
B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References: Alameda County Assessor/Recorder's Office, Dublin Heritage Center, Dublin Main Library Archives

B13. Remarks:

*B14. Evaluator: Christopher VerPlanck

*Date of Evaluation: September 16, 2003



(This space reserved for official comments.)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____
HPI # _____
Trinomial _____
NRHP Status Code _____

Other Listings
Review Code _____

Reviewer _____ Date _____

Page 1 of 2 Resource name(s) or number (assigned by recorder) Dublin Historical Preservation Association Property

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*b. USGS 7.5' Quad: Dublin, CA

Date: 1979

*a. County Alameda

*c. Address N/A

City Dublin

Zip 94568

*e. Other Locational Data: Block: 941-1560

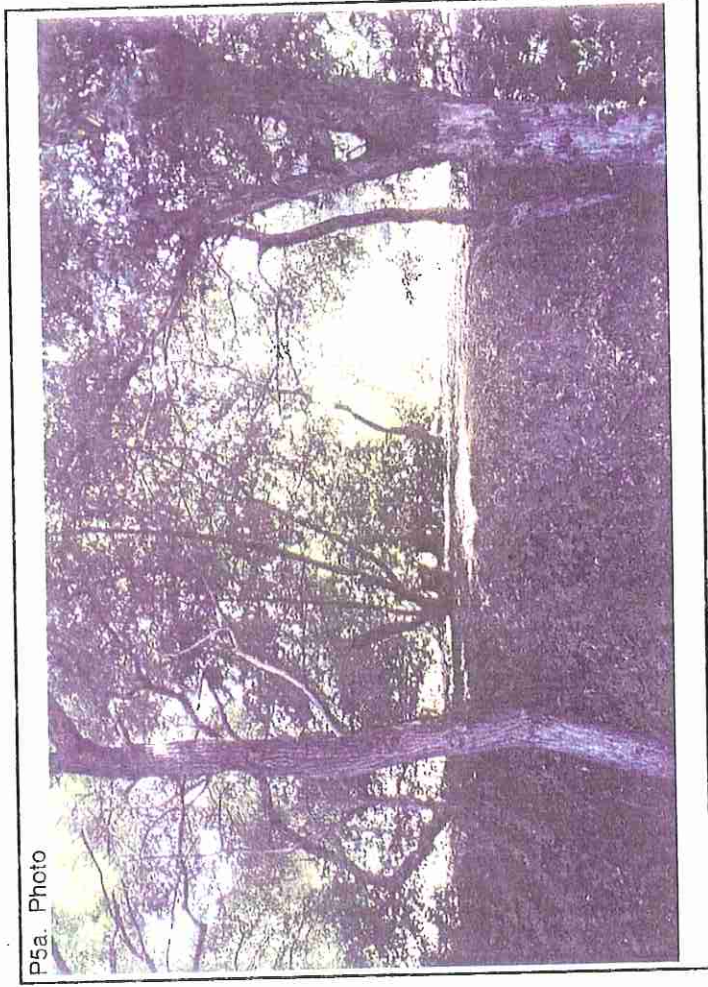
Lot: 3-3

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) This site is a landlocked parcel located between Dublin Cemetery and I-580. The 41,277 square-foot parcel is bounded on the east by the historic Murray property "Ponderosa," located at 6572 Donlon Way and the Hexcel Corporation property to the west. The irregularly shaped parcel is bisected by the steeply banked channel of Dublin Creek which trends in an southeasterly direction from Dublin Canyon into the Amador Valley. The parcel is thickly wooded with blue and tan oaks, walnuts, willows, locusts and California bay trees.

*P3b. Resource Attributes: (list attributes and codes) HP 30: Trees/Vegetation

*P4. Resources Present: ☐ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other

P5a. Photo



*P5b. Photo: (view and date)
September 4, 2003

*P6. Date Constructed/Age and
Sources: ☒ Historic N/A

*P7. Owner and Address:
Dublin Historical Preservation
Association
P.O. Box 2245
Dublin, California 94568

*P8. Recorded by:
Christopher VerPlanck
Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108

*P9. Date Recorded:
September 16, 2003

P10. Survey Type:
Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none") Virginia Smith Bennett, *Dublin Reflections*, rev. ed. 1991.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

Primary # _____

HRI# _____

*CHR Status Code 3D

*Resource Name or # None

B1. Historic name: None

B2. Common name: _____

B3. Original Use: Unknown

B4. Present use: Vacant

*B5. Architectural Style: _____

*B6. Construction History: (Construction date, alterations, and date of alterations)

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features: _____

B9a. Architect: Unknown

b. Builder: _____

*B10. Significance: Theme N/A Area Dublin Village

Property Type N/A Applicable Criteria

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The recorded history of this property begins in 1839 with the granting of the 8,885-acre Rancho Santa Rita to Jose Dolores Pacheco. In 1975 the Dublin Historic Preservation Foundation, which had just been formed to save the Old Murray School, sought to move the deteriorated Fallon Homestead from south of I-580 on Foothill Road to this site behind the newly formed Dublin Heritage Center. While funds were being raised and permits acquired vandals looted and partially destroyed the Fallon Homestead in October 1975. Despite the setback, Dublin Historic Preservation Association, hoping to create a "Little Williamsburg" along Donlon Way, continued to move forward with the acquisition of the house. In May 1976 the Fallon Homestead was inadvertently burned to the ground by firefighters in a training exercise. In June 1976 Dublin Historic Preservation Association purchased this lot from Hexcel Corporation in hopes of eventually reconstructing the house. In 1994 DHPA leased the property to the Joaquin Murrieta Chapter of E. Clampus Vitus. While this property does not appear to be eligible for listing in the *California Register* or the *National Register*, the property deserves some consideration as an undeveloped parcel located adjacent to the Dublin Heritage Center. It serves as a wooded buffer between I-580 and Dublin Pioneer Cemetery. As a riparian environment in an area known to have held Ohlone settlements, this property may potentially have archaeological remains.

B11. Additional Resource Attributes: (List attributes and codes) _____

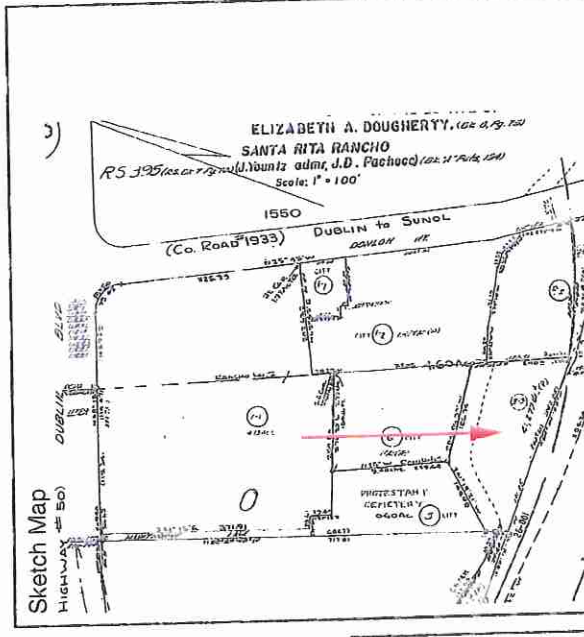
*B12. References: Alameda County Assessor/Recorder's Office, Dublin Heritage Center, Dublin Main Library Archives

B13. Remarks: _____

*B14. Evaluator: Christopher VerPlanck

*Date of Evaluation: September 16, 2003

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings
Review Code _____

Reviewer _____ Date _____

Page 1 of 2 Resource name(s) or number (assigned by recorder) 6572 Donlon Way

P1. Other Identifier: "Ponderosa"

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Alameda

*b. USGS 7.5' Quad: Dublin, CA

Date: 1979

*c. Address 6572 Donlon Way

City Dublin

Zip 94568

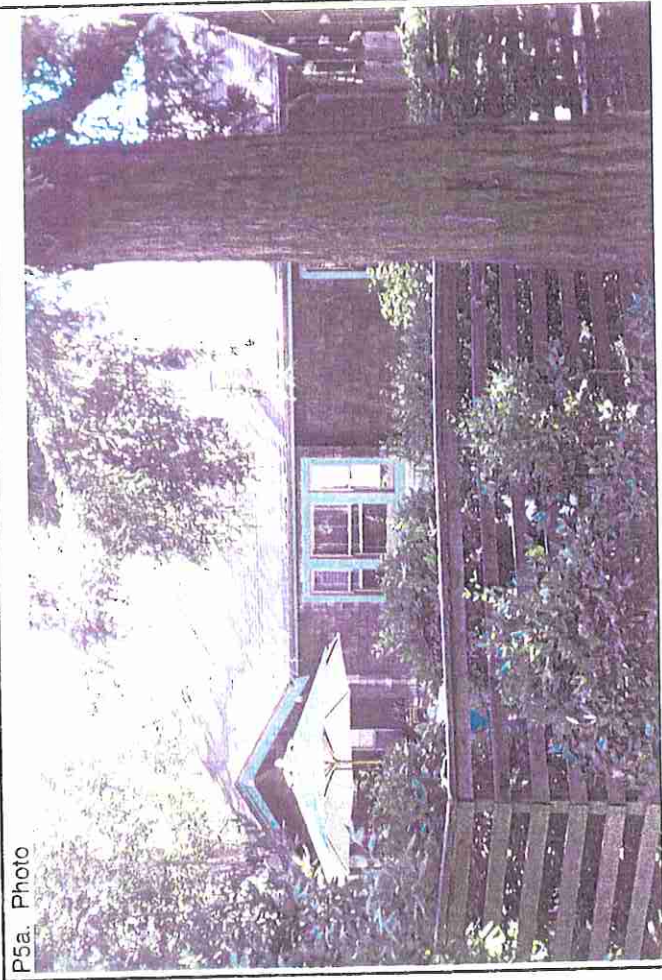
*e. Other Locational Data: Block: 941-1560 Lot: 2-2

*P3a. **Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) 6572 Donlon Way is a complex of buildings until recently consisting of a house and kennels and until recently, a tank house. It is located on the west side of Donlon Way where it dead-ends into I-580. The property, which is approximately two-thirds of an acre, was originally part of a larger agricultural property that extended south of what is now I-580. The property is currently bounded by Dublin Creek to the north, the site of the former Fallon Homestead to the west, Donlon Way to the east and I-580 to the south. The house on the site faces east onto Donlon Way. It is a one-story, rectangular-plan Craftsman bungalow clad in weathered brown shingles with a side-facing gable roof. The façade is three bays wide with an integral entry bay in the left bay. The entry is sheltered beneath a gabled canopy roof supported by wood struts. The other bays are indicated by clustered bands of double-hung windows with original sash and casings. The roof is clad in modern composition materials. The other walls are similar, with fixed and double-hung windows articulating the shingled walls. Located approximately 25' north of the house was a shingled tankhouse. The tankhouse was recently demolished. To the west of the house and tankhouse are several modern kennel buildings constructed in 1979. The house at 6572 Donlon Way appears to be in good condition.

*P3b. **Resource Attributes:** (list attributes and codes) HP 2: Single Family Property; HP6: 1-3 Story Commercial Building

*P4. **Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other

P5a. Photo



P5b. **Photo:** (view and date)
September 4, 2003

*P6. **Date Constructed/Age and**

Sources: ☒ historic
Ca. 1929: Aerial photos, information
from owner

*P7. **Owner and Address:**

Steven E. & Susan E. Hagan
6572 Donlon Way
Dublin, California 94568

*P8. **Recorded by:**

Christopher VerPlanck
Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108

*P9. **Date Recorded:**

September 16, 2003

P10. **Survey Type:**

Intensive Survey

*P11. **Report Citation:** (Cite survey report and other sources, or enter "none") None

***Attachments:** ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____
HRI# _____

Page 2 of 2

*CHR Status Code 3D

*Resource Name or # 6572 Donlon Way

- B1. Historic name: "Ponderosa"
B2. Common name: Dublin Creek Kennels
B3. Original Use: Ranch B4. Present use: Business and Residence
*B5. Architectural Style: Craftsman (house)
*B6. Construction History: (Construction date, alterations, and date of alterations)
The precise construction history of 6572 Donlon Way is uncertain as building permits for the house and tankhouse do not survive. Based on the stylistic evidence that has been corroborated by the current occupants the construction date appears to be Ca. 1929. The office and kennels behind the house were built in 1979.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____
*B8. Related Features: Tankhouse (demolished)

B9a. Architect: Unknown

b. Builder: Ed Murray

*B10. Significance: Theme Architecture, Exploration/Settlement Area Dublin Village
Period of Significance 1835-1935 Property Type Residence Applicable Criteria _____

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)
The property at 6572 Donlon Way was originally part of a much larger estate called Rancho Santa Rita. The 8,885-acre rancho was granted to Jose Dolores Pacheco in 1839. In 1852, Irish immigrants Michael Murray and his brother-in-law Jeremiah Fallon came to the Amador Valley and purchased 250 and 246 acres respectively from Pacheco and Jose Maria Amador. Murray became a sheep rancher and farmer and later an Alameda County Supervisor. In 1862 Irish immigrant John Green purchased most of Murray's property with the exception of a small, approximately nineteen-acre parcel located south of St. Raymond's Church. A subdivision map of the Green Estate dating from 1900 indicates that this property belonged to Michael Murray's nephew Mike Murray. Mike's son Ed Murray built the existing residence circa 1929. The property, known as "Ponderosa" shows up on aerial photos as a small, nineteen-acre ranch with pasture land and groves well into the first quarter of the twentieth century. In 1938 Highway 50, or the "Lincoln Highway," was constructed through Dublin Canyon, bisecting the small ranch into two pieces. Aerial photographs taken in the mid-1950s and 1960s show the house, the tankhouse and several outbuildings on the property north of the highway and a large barn on the south side of the highway. Ed's sister, Margaret inherited the property and lived there until her death in the 1970s. In 1979, then-owner Glenn Grupe applied for a variance to change the zoning from agricultural to commercial and in 1981 he hired architect Fritz Wu of Concord to design an office and kennel structure for his business Glenroe Kennels. The property is still operated as a kennel by the current owners. The house has a high level of integrity and until it was demolished, the tankhouse retained a moderate degree of integrity. The property does not appear to be eligible for listing in the *California* or the *National Register* although as a rare remnant of an agricultural property type in Dublin, 6572 Donlon Way has a high level of significance at the local level and it would be a contributor to a *National Register* district.

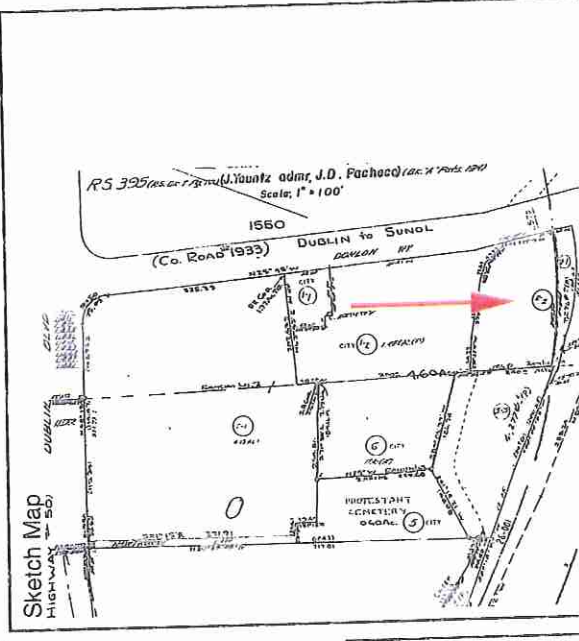
B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References: Alameda County Assessor/Recorder's Office,
Alameda County Department of Public Works, Dublin Heritage Center,
Dublin Main Library Archives

B13. Remarks:

*B14. Evaluator: Christopher VerPlanck
*Date of Evaluation: September 16, 2003

(This space reserved for official comments.)



*Required information

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____

Reviewer _____ Date _____

Page 1 of 2 Resource name(s) or number (assigned by recorder) Dublin Pioneer Cemetery

P1. Other Identifier: Pioneer Cemetery

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Alameda

Date: 1979

Zip 94568

City Dublin

*b. USGS 7.5' Quad: Dublin, CA

*c. Address 6600 Donlon Way

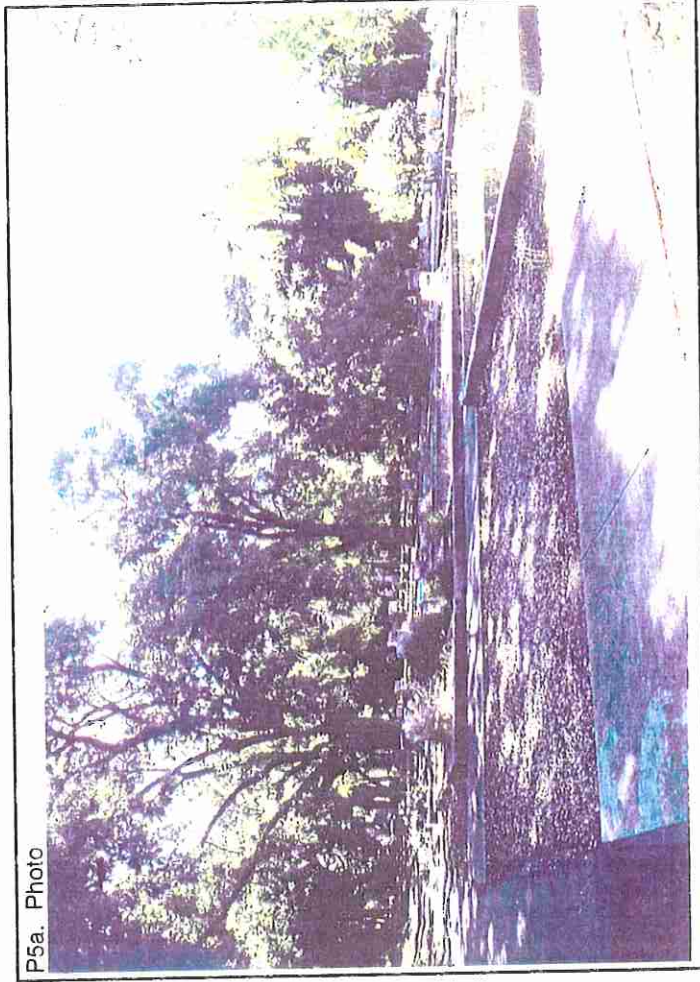
*e. Other Locational Data: Block: 941-1560 Lots: 5 & 6

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.) Dublin Pioneer Cemetery is a one and a half acre cemetery on the west side of Donlon Way between Dublin Boulevard and I-580. The cemetery is bordered by Dublin Square Shopping Center to the north, Hexcel Corporation to the west, Dublin Creek to the south and Dublin Heritage Center to the east. Dublin Cemetery now consists of two lots; Lot 6, the old Catholic Cemetery associated with St. Raymond's and Lot 5, the pioneer Protestant Cemetery. Lot 5 also includes a narrow right-of-way named Hawthorne Lane which connects the Protestant Cemetery with Dublin Boulevard. Despite their separate origins, the two cemeteries are typically perceived as a single entity and will be treated accordingly. Dublin Pioneer Cemetery is lushly vegetated with a variety of native and introduced plantings, including a double row of hawthorne trees lining the main path in the Catholic portion of the cemetery and a number of black and English walnut trees, white and valley oaks, sycamores and locusts clustered along the paths and the rear fence line of the Protestant section. Many of the headstones are very old, marking the location of many of Dublin's pioneer families, including the Fallons, Murrays, Doughertys and Donlons. The oldest headstone belongs to Tom Donlon who died during the construction of St. Raymond's in 1859. There were originally many wood burial markers located on what is now the Heritage Center parking lot but most of these were destroyed by fire in 1917, leaving the location of many burials uncertain. Damaged and neglected marble and granite headstones and retaining walls were cleaned and repaired in time for the 1976 Bicentennial, as well as again in 1993 after vandals smashed several headstones. Today Dublin Pioneer Cemetery is in excellent condition.

*P3b. Resource Attributes: (list attributes and codes) HP 40: Cemetery; HP30: Trees/Vegetation

*P4. Resources Present: ☐ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other

P5a. Photo



*P5b. Photo: (view and date)
September 4, 2003

*P6. Date Constructed/Age and Sources: ☒ Historic
1859: Oakland Diocese Records

*P7. Owner and Address:
City of Dublin
100 Civic Plaza
Dublin, California 94568

*P8. Recorded by:
Christopher VerPlanck
Page & Turnbull, Inc.
724 Pine Street
San Francisco, CA 94108

*P9. Date Recorded:
September 16, 2003

*P10. Survey Type:
Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none") Virginia Smith Bennett, *Dublin Reflections*, rev. ed. 1991.

*Attachments: ☐ None ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

Primary # _____

HRI# _____

*CHR Status Code 3D

*Resource Name or # Dublin Pioneer Cemetery

B1. Historic name: St. Raymond's Cemetery, Pioneer Cemetery

B2. Common name: Dublin Pioneer Cemetery

B3. Original Use: Cemetery B4. Present use: Same

*B5. Architectural Style:

*B6. Construction History: (Construction date, alterations, and date of alterations)

Dublin Pioneer Cemetery came into existence along with St. Raymond's Church in 1859. In 1867 James Dougherty donated four acres to the west of Catholic cemetery for the use of Protestant Dubliners. It is unknown when the paths and retaining walls were built but they are concrete and appear to date from the 1920s or 1930s.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Architecture, Exploration/Settlement Area Dublin Village

Period of Significance 1835-1935 Property Type Cemetery Applicable Criteria A, B & D

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity) Dublin Pioneer Cemetery is rumored to have been used as a burial ground, first by Ohlone and then by Jose Maria Amador for burying his Indian and Mexican laborers. The existing Catholic cemetery was consecrated in 1859 in conjunction with the construction of St. Raymond's Church. The earliest European burial is that of Tom Donlon who fell to his death from the roof of St. Raymond's during its construction. In 1867 James W. Dougherty donated four acres immediately west of the Catholic cemetery for non-Catholic burials. The two cemeteries do not appear to have been marked off from one another by fences or walls and for most of Dublin's history the two cemeteries served as Dublin's only cemetery. In 1917 a fire in the cemetery destroyed several dozen wood headstones located where the parking lot of Dublin Heritage Center is now located. In the 1960s local residents began working to protect the increasingly neglected cemetery. In 1968 the Diocese of Oakland sold the Catholic Cemetery to Dublin Pioneer Cemetery, Inc. a private not-for-profit group formed in 1964 to care for the cemetery. Dublin Cemetery Inc. acquired the adjoining Protestant Cemetery the preceding year. Prior to the 1976 Bicentennial local residents of Dublin maintained Dublin Pioneer Cemetery, repairing broken headstones, clearing brush and fixing walkways. In 1993 vandals struck the cemetery, damaging dozens of headstones. Many were repaired by Ron Beggs, a machinist employed by Hexcel Corp. In 1993 the City of Dublin accepted Dublin Pioneer Cemetery as a gift from Dublin Cemetery Inc. Dublin Pioneer Cemetery appears to be eligible for listing in the *California Register* under Criteria 1, 2 and 4 and in the *National Register* under Criteria A (Events), B (Persons) and D (Information Potential). Applying "Criteria Consideration D: Cemeteries," Dublin Cemetery still appears to be eligible for listing due to the fact that it contains the headstones of most of Dublin's earliest pioneer settlers.

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References: Diocese of Oakland, Alameda County Recorder's Office, Dublin Main Library Archives, Dublin Heritage Center

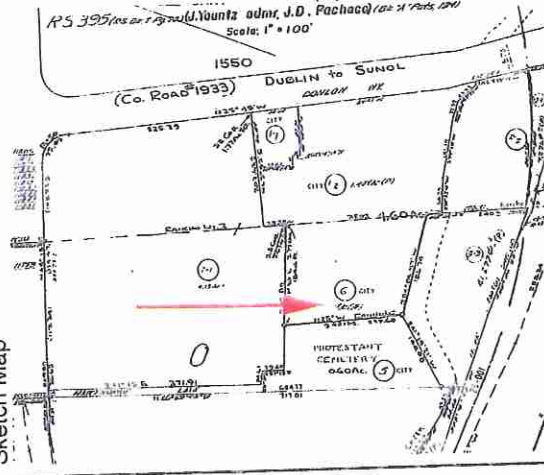
B13. Remarks:

*B14. Evaluator: Christopher VerPlanck

*Date of Evaluation: September 16, 2003

(This space reserved for official comments.)

Sketch Map



APPENDIX D:

TREE RECOMMENDATIONS FOR THE DUBLIN VILLAGE HISTORIC AREA SPECIFIC PLAN

Tree Recommendations for Dublin Village Historic Area

Street Trees

Appropriate for planting in tree wells or parkways and capable of thinning and pruning of canopy. All are low water or drought tolerant.

Albizia julibrissin – Silk Tree

Semi deciduous with wide canopy
Max 40' ht with 40' spread

Arbutus menziesii – Madrone

Evergreen tree 20' ht with 40' spread (native)

Celtis sinensis – Chinese Hackberry

Deciduous with 30'-40' canopy
(has 1/4" red berry-like fruit)

Crataegus laevigata – English Hawthorn

Deciduous medium sized tree
25' ht with 20' spread

Laurus nobilis – Sweet Bay

Evergreen small to medium size tree
20' ht with 20' spread

Pistacia chinensis – Chinese Pistache

Semievergreen to 40' ht with 40' spread
Will require thinning for storefront visibility

Public Space Trees

Appropriate for larger spaces with plenty of room for roots and canopies. All are low water or drought tolerant.

Juglans nigra – Black Walnut

Deciduous tree with high crown
70-100' ht and require plenty of room (has fruit – walnut)

Koelreuteria spp. – Chinese Flame or Goldenrain Tree

Large canopy 40' ht with 40' spread

Liquidambar styraciflua – Sweet Gum

Deciduous tree upright in youth becoming round with age
50' ht with 20-30' spread

Quercus agrifolia – California Live Oak

Evergreen slow growing large tree requires plenty of room
(native)

Schinus molle – California Pepper

Large evergreen with fast growth
40' ht with 40' spread – (can be messy)

Umbellularia californica – California Bay

Evergreen with dense canopy
40' ht with 40' spread (native)